

CHAIRPERSON

Kevin Henderson, District 1

PLANNING COMMISSIONERS

Steven Belong, District 3, Vice Chair

Christina Ross, District 2

Luke Corona, District 4

Carol Lenoir, Represents Entire City

DEVELOPMENT SERVICES**DIRECTOR**

Christine Hopper

PLANNING MANAGER

Eva Kelly

CITY ATTORNEY

Jennifer P. Thompson



PLANNING COMMISSION AGENDA

Regular Meeting

February 22, 2024

6:00 PM

CITY OF HOLLISTER

CITY COUNCIL CHAMBERS, CITY HALL

375 FIFTH STREET

HOLLISTER, CA 95023

(831) 636-4360

www.hollister.ca.gov/

NOTICE TO PUBLIC

Persons who wish to address the Planning Commission are asked to complete a speaker's card and give it to the Secretary before addressing the Planning Commission. Those who wish to address the Planning Commission on an agenda item will be heard when the presiding officer calls for comments from the audience. City-related items not on the agenda will be heard under the Public Input section of the agenda. Following recognition, persons desiring to speak are requested to advance to the podium and state their name and address. If you are joining us by Zoom, please click on the bottom of your screen to raise your hand. If you are joining us by Zoom using a cell phone, please press *9. After hearing audience comments, the public portion of the meeting will be closed, and the matter brought to the Planning Commission for discussion.

PUBLIC PARTICIPATION NOTICE

The public may watch the meeting via live stream at:

Community Media Access Partnership (CMAP) at:

<http://cmaptv.com/watch/>

or

City of Hollister YouTube Channel:

https://www.youtube.com/channel/UCu_SKHetqbOiiz5mH6XgpYw/featured

Public Participation:

The public may attend meetings.

NOTICE: The Planning Commission will hold its public meetings in person, with a virtual option for public participation based on availability. The City of Hollister utilizes Zoom teleconferencing technology for virtual public participation; however, we make no representation or warranty of any kind, regarding the adequacy, reliability, or availability of the use of this platform in this manner. Participation by members of the public through this means is at their own risk. (Zoom teleconferencing may not be available at all meetings.)

If you wish to make a public comment remotely during the meeting, please use the zoom registration link below:

https://us02web.zoom.us/webinar/register/WN_cclADZL5RDe-QZ82HeYO2g

CALL TO ORDER**PLEDGE OF ALLEGIANCE****ROLL CALL****VERIFICATION OF AGENDA POSTING****A. PUBLIC INPUT**

This is the time for anyone in the audience to speak on any item not on the agenda and within the subject matter jurisdiction of the Planning Commission. Speaker cards are available in the lobby and are to be completed and given to the Secretary before speaking. When the Secretary calls your name, please come to the podium, state your name and city for the record, and speak to the City Planning Commission. If you are joining us by Zoom, please click on the bottom of your screen to raise your hand. If you are joining us by Zoom using a cell phone, please press *9. Each speaker will be limited to three (3) minutes with a maximum of 30 minutes per subject. Please note that state law prohibits the Planning Commission from discussing or taking action on any item not on the agenda.

B. CONSENT ITEMS

All items listed under consent agenda will be enacted by one motion authorizing actions indicated for those items so designated. There will be no separate discussion of these items unless requested by a member of the Planning Commission, a staff member, or a member of the public.

1. The minutes of the January 25, 2024 Regular Planning Commission Meeting

C. PUBLIC HEARINGS

- 1. SITE & ARCHITECTURAL REVIEW 2023-9** – Brookshire – The applicant requests Site & Architectural Review approval to allow the construction of a 1,942 square foot two-story residential duplex, two (2) 444 square foot accessory dwelling units, and four (4) parking spaces on a 4,421 square foot parcel. The project site is located at 221 Hawkins Street, further identified as San Benito County Assessor Parcel No. 056-091-002 in the Downtown Mixed-Use Zoning District.

CEQA: The Project is categorically exempt from the California Environmental Quality Act pursuant to Section 15303(b) Class 3 (New Construction or Conversion of Small Structures).

RECOMMENDATION: Hold a public hearing and adopt a resolution approving Site & Architectural Review 2023-9.

- 2. APPEAL 2024-1** – Annotti Landing LLC – The applicant is appealing the expiration of Site & Architectural Review 2020-9 due to delays in processing the associated tentative map (now filed and now included in the appeal), which in turn caused delays in issuing a building permit for the project. The project proposed the development of 16 multi-family units and 12 accessory dwelling units. The project site is located at 2001 Memorial Drive, further identified as San Benito County Assessor Parcel No. 057-770-040 in the Medium Density Residential (R3) Zoning District.

CEQA: The appeal of the expiration of the project does not constitute a project under the California Environmental Quality Act, and the original entitlements were categorically exempt pursuant to Section 15332 Class 32 (Infill Development Projects).

RECOMMENDATION: Hold a public hearing and adopt a resolution approving Appeal 2024-1 and approve a one-year extension of Site & Architectural 2020-9.

D. INFORMATIONAL REPORTS

1. PLANNING COMMISSIONER REPORTS

Receive informational reports from the members of the Planning Commission.

2. PLANNING DIVISION REPORTS

Receive reports from the members of the Planning Division staff.

ADJOURNMENT

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City of Hollister's Planning Division at (831) 636-4360. Notification of 48 hours prior to the meeting will enable the City to attempt to make reasonable arrangements to ensure accessibility to this meeting [28 CFR 2.102-35. 104 ADA Title II].

Materials related to an item of this agenda submitted to the Planning Commission after distribution of the agenda packet are available for public inspection at the City Clerk's office at City Hall, 375 Fifth Street, Hollister, Monday through Friday, 8:00 a.m. to noon, 1:00 p.m. to 5:00 p.m. (closed between 12:00 and 1:00 p.m.). Materials are also available at the Development Services Department office located 339 Fifth Street, Hollister, Monday through Thursday, 8:30 a.m. to noon, 1:00 p.m. to 4:30 p.m. (closed between 12:00 p.m. and 1:00 p.m.).

Notice to anyone attending any public meeting: The meeting may be broadcast live on Cable 17 and/or videotaped or photographed. Recent Planning Commission meetings may also be viewed at www.CMAP.com and periodically on Cable Channel 17.

MINUTES

HOLLISTER PLANNING COMMISSION REGULAR MEETING

January 25, 2024

CALL TO ORDER

The regular meeting of the Planning Commission was called to order by Chairperson Henderson on January 25, 2024, at 6:01 p.m. in the City Council Chambers are 375 Fifth Street, Hollister, CA 95023.

ELECTION OF CHAIR AND VICE CHAIR

Commissioner Corona nominated Chairperson Henderson to serve as Planning Commission Chair for calendar year 2024, and Commissioner Lenoir seconded the motion. Motion carried 3-0-1, with Chairperson Henderson abstaining.

RESULT:	Approved
MOTION:	Luke Corona
SECOND:	Carol Lenoir
AYES:	Ross, Corona, Lenoir
NOES:	
RECUSED:	
ABSTAIN:	Henderson
ABSENT:	Belong

Commissioner Corona nominated Vice Chairperson Belong to serve as Planning Commission Vice Chair for calendar year 2024, and Commissioner Ross seconded the motion. Motion carried 4-0-0.

RESULT:	Approved
MOTION:	Luke Corona
SECOND:	Christina Ross
AYES:	Ross, Corona, Lenoir, Henderson
NOES:	
RECUSED:	
ABSTAIN:	
ABSENT:	Belong

PLEDGE OF ALLEGIANCE

Chairperson Henderson led the Pledge of Allegiance.

ROLL CALL

Attendee Name	Title	Status	Arrived
Kevin Henderson	Chairperson / District 1	Present	
Christina Ross	District 2	Present	

Steven Belong	District 3	Absent	
Luke Corona	District 4	Present	
Carol Lenoir	Mayoral Seat	Present	

STAFF IN ATTENDANCE

Attendee Name	Title	Status	Arrived
Jennifer Thompson	Assistant City Attorney	Present	
Eva Kelly	Planning Manager	Present	
Ambur Cameron	Senior Planner	Present	
Erica Fraser	Senior Planner (4Leaf, Inc.)	Present	
Miriam Arciniega	Senior Support Services Assistant	Present	

VERIFICATION OF AGENDA POSTING

Senior Planner Cameron verified the agenda for the City of Hollister Planning Commission regular meeting of Thursday, January 25, 2024 was posted on the bulletin board outside of City Hall on Friday, January 19, 2024, at 9:45 a.m. per Government Code Section 54954.2.

A. PUBLIC INPUT

None.

B. CONSENT ITEMS

Commissioner Lenoir requested the vote count for Item 1 under public hearings be corrected to 4-0-1 and to fill in the names of the voting members.

Commissioner Lenoir moved, and Commissioner Ross seconded the motion to approve the December 21, 2023 minutes of the Regular Planning Commission Meeting with the corrections as previously stated. Motion carried 4-0-0.

RESULT:	Approved
MOTION:	Carol Lenoir
SECOND:	Christina Ross
AYES:	Ross, Henderson, Corona, Lenoir
NOES:	
RECUSED:	
ABSTAIN:	
ABSENT:	Belong

C. PUBLIC HEARINGS

- WEST FAIRVIEW DEVELOPMENT AGREEMENT AMENDMENT** – Eden Housing/Mimosa Street Investors LLP – The Applicant requests the Planning Commission consider recommending City Council approval of a partial assignment of the provisions of the West of Fairview Development

Agreement. The partial assignment will be for portions of the Development Agreement that are applicable to the approved 100 multifamily apartment project (S&A 2022-16) within the West Fairview Subdivision. The units will be affordable to low, very low, and extremely low-income families and farmworkers. The project site is located on the corner of Avenida Cesar Chavez (formerly Union Road) and Mimosa Drive in the Residential West Fairview Specific Plan (RWF/SP) Zoning Designation, further identified as San Benito County Assessor Parcel Number 057-860-046.

Senior Planner Fraser presented the staff report.

Chairperson Henderson opened the public hearing at 6:12 p.m.

Public Providing Testimony: Weija Song

Chairperson Henderson closed the public hearing at 6:14 p.m.

Commissioner Lenoir moved, and Commissioner Ross seconded the motion to adopt Resolution 2024-01 recommending City Council approval of an amendment to the West Fairview Development Agreement. Motion carried 4-0-0.

RESULT:	Approved
MOTION:	Carol Lenoir
SECOND:	Christina Ross
AYES:	Ross, Henderson, Corona, Lenoir
NOES:	
RECUSED:	
ABSTAIN:	
ABSENT:	Belong

2. **DENSITY BONUS 2023-4** – Eden Housing/Mimosa Street Investors LLP – The Applicant requests the Planning Commission consider recommending City Council approval of a Density Bonus for the approved affordable 100 multifamily apartment project (S&A 2022-16) located within the West Fairview Subdivision. The units will be affordable to low, very low, and extremely low-income families and farmworkers. The Density Bonus request is in addition to a prior Density Bonus approval for the waiver of setbacks (DB 2023-1) and is requested for additional incentives for the affordable project. The project site is located on the corner of Avenida Cesar Chavez (formerly Union Road) and Mimosa Drive in the Residential West Fairview Specific Plan (RWF/SP) Zoning Designation, further identified as San Benito County Assessor Parcel Number 057-860-046.

Senior Planner Fraser presented the staff report.

Chairperson Henderson opened the public hearing at 6:24 p.m.

Public Providing Testimony: Dixie Bauss and Weija Song

Chairperson Henderson closed the public hearing at 6:29 p.m.

Commissioner Lenoir moved, and Commission Corona seconded the motion to adopt Resolution 2024-02 recommending City Council approval of Density Bonus 2023-4 and to waive impact fees and reduce CFD fees. Motion carried 4-0-0.

RESULT:	Approved
MOTION:	Carol Lenoir
SECOND:	Luke Corona
AYES:	Ross, Henderson, Corona, Lenoir
NOES:	
RECUSED:	
ABSTAIN:	
ABSENT:	Belong

D. INFORMATIONAL REORTS

1. PLANNING COMMISSION REPORTS

Commissioner Lenoir reported that she will be attending the League of California Cities Planning Commissioners Academy on March 4-6, 2024.

2. PLANNING DIVISION REPORT

No Reports.

ADJOURNMENT

Chairperson Henderson adjourned the meeting at 6:49 p.m.

Chairperson of the Planning Commission
of the City of Hollister

Respectfully submitted:

Christine Hopper, Secretary



Planning Commission

Staff Report

February 22, 2024

Item 1

SUBJECT: **Site and Architectural Review 2023-9 – Brookshire** – The applicant is requesting a Site & Architectural Review 2023-9 to construct a duplex (Lower Unit A: 965 sq. ft./ Upper Unit B: 977 sq. ft.) with two detached Accessory Dwelling Units (444 sq. ft. each) and four (4) parking spaces on a 4,421 square-foot parcel located within the Downtown Mixed-Use (DMU) Zoning District.

STAFF PLANNER: Magda Gonzalez, Senior Planner (925) 789-7160

ATTACHMENTS: 1. Resolution approving Site and Architectural Review 2023-9 for a two-story duplex with the project plans included as Exhibit A.

RECOMMENDATION: Approval with Conditions

PROJECT DESCRIPTION:

The Applicant is proposing to construct a new two-story duplex. The lower floor (Unit A) will be 965 square-foot and the upper unit (Unit B) will be 977 square-foot, the project also includes two (2) Accessory Dwelling Units at 444 square-foot each. The ADUs are not under the Planning Commission purview and will only require a ministerial review and approval. The project also proposes to provide four (4) on-site parking spaces. The parcel is located at 221 Hawkins Street within the Downtown Mixed-Use (DMU) Zoning District. The project plans are included as Exhibit A.

BACKGROUND:

The proposed project will construct a two-story duplex with varying sizes, the top unit will be 977 square-foot while the bottom unit will be 965 square-foot. The project will provide four (4) on-site parking spaces, landscape and associated improvements. In addition to the duplex, the project includes two (2) 444 square-foot Accessory Dwelling Units.

ANALYSIS:

Location

The proposed project is located on a vacant 4,421 square-foot parcel. The parcel is bounded by developed properties. To the north is Hawkins Street, to the east is Big Sale Store (commercial), to the west is a 7-Eleven convenience store (commercial), and to the south is an alley followed by residential uses.

The location of the project site is shown below:

Figure 1: Project Site and the Surrounding Area

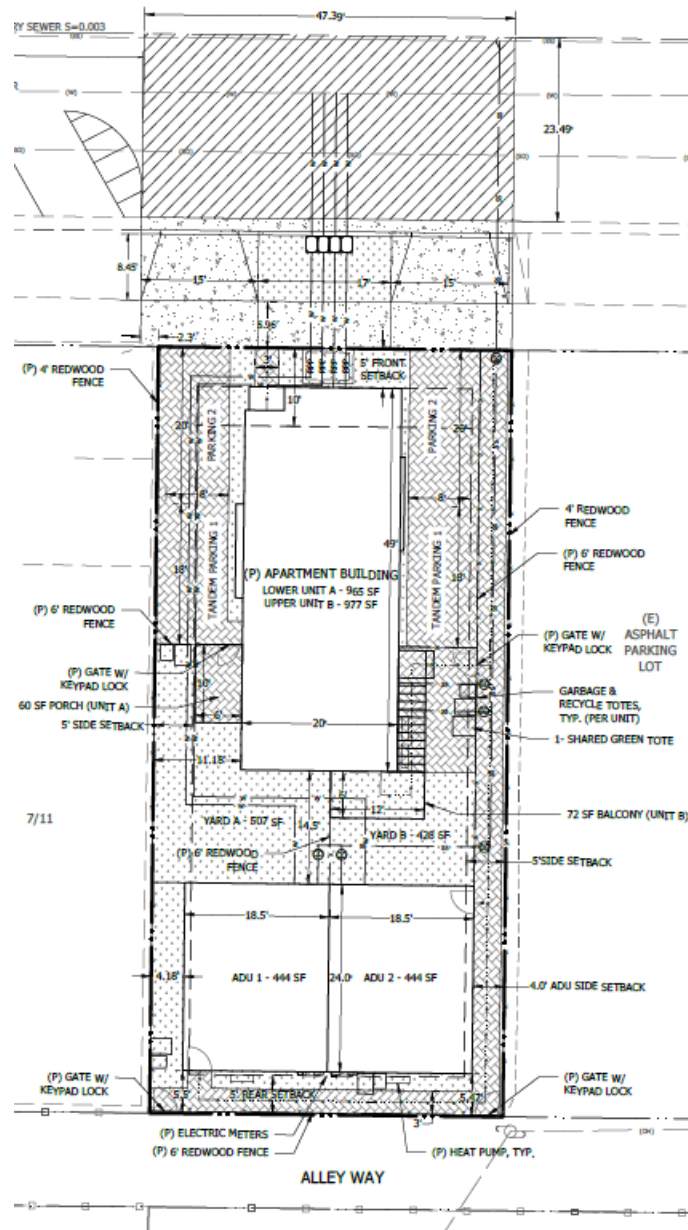


Site Plan (Sheet C2):

The applicant is proposing to construct a multi-family project, a duplex with associated improvements. An itemized list of the project's features and improvements included within this proposal are listed below:

- Lower apartment 965 square-foot (Unit A)
- 60 square-foot porch for Unit A
- Upper apartment 977 square-foot (Unit B)
- 72 square-foot balcony for Unit B
- Four (4) tandem parking spaces
- Landscape: 500 square-foot open space per unit
- Two (2) Accessory Dwelling Units
- Redwood fence with varying heights from 4' to 6'
- Re-stripe on-street parking spaces

Figure 2: Site Plan



A multifamily development is a permitted use within the Downtown Mixed-Use Zoning District. Projects within the Downtown Mixed-Use (DMU) shall comply with Chapter 17.08.050 – Mixed Use Zoning District supplemental standards in addition to 17.08.030 – Commercial and Mixed Use Zone general development standards. The Downtown Mixed Use (DMU) Zoning District provides for a vertical or horizontal combination of commercial and residential uses around the central core of the community. While it encourages the use of retail space on the ground floor and residential on the upper floors, the municipal code language is open and flexible. This proposal meets those requirements. The following Table

summarizes the requirements of the General Commercial Zone Districts Land Use and Permit Requirements development standards for the development.

Table 1: Development Standards

Development Standard	Downtown Mixed Use	Proposed Project
Front Setback	5 feet	5 feet
Rear Setback	5 feet	5 feet
Side Yard Setbacks	5 feet	5 feet
Height	75 feet	26 feet 2 ¼ inches
Landscaping	5 percent	25.6 percent

Architecture:

The project's proposed elevations incorporate dark gray composite board and batten siding, charcoal composite lap siding, rusted steel corrugated accent siding, trim same color as adjacent siding, light gray gutters and barge, black sash windows with SDL grids as shown, dark charcoal dimensional comp shingle roofing, rusted steel corrugated metal accent roofing, painted gable vents, light gray porch posts, dark army green doors, rusted pig wire guard rails, light gray painted stairway, and two roof mount solar systems.

Lap siding and all adjacent trim will be painted Black Tie DE6357. Board and batten siding, adjacent trim, gutters, and overhangs will be a painted in color Sheet Metal DE6356. Doors, balcony, and porch will be Armored Steel DE6279. Main roofing will be charcoal composition while accent roofing will be accent siding. Sash windows and wall sconces will be black.

Figure 3 – Front (North) Elevation



Figure 4: Rear (South) Elevation



Figure 5: West (Right) Elevation



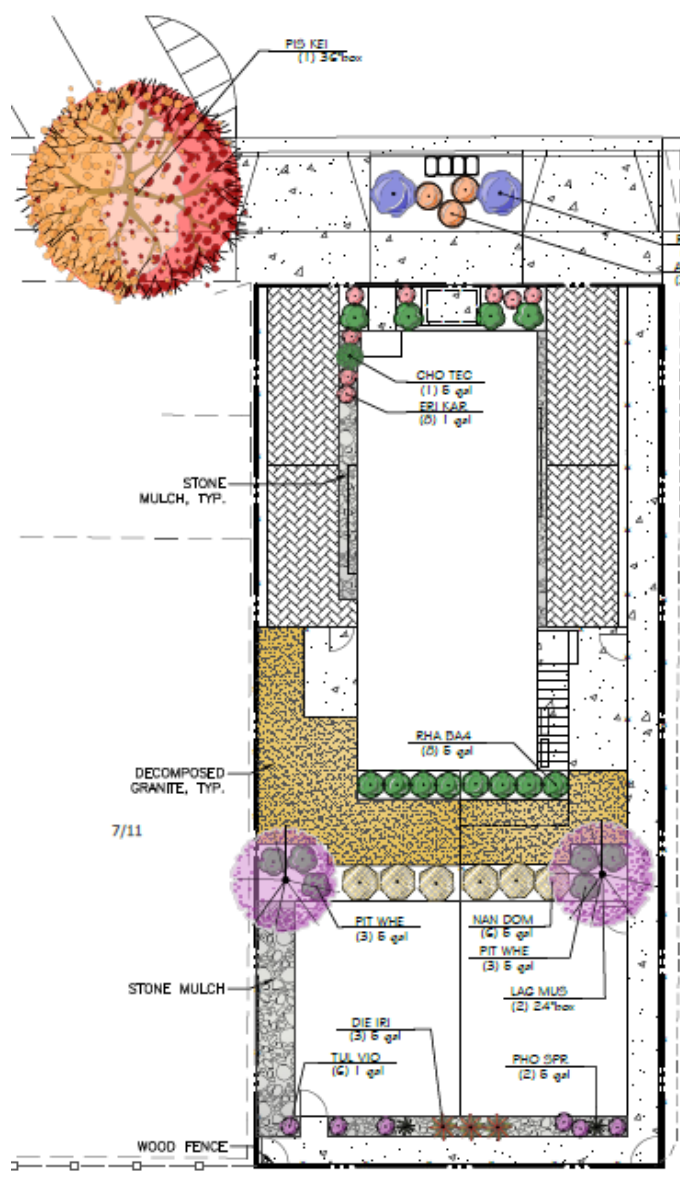
Figure 6: East (Left) Elevation



Landscaping (Sheet L-1):

The project's water efficient landscaping will be designed in a manner that will create and enhance the visual quality and natural settings of the subject property and its surroundings. The landscaping includes a 36" box street tree (Keith Davey Chinese Pistache) with shrubbery at the street level. Most of the landscaping will be installed on the middle of the parcel, between the duplex and the accessory dwelling units. Two 24" box street (Muskogee Crape Myrtle), stone mulch, decomposed granite, and shrubs will be included in the landscape. The landscape will provide an aesthetic appeal.

The varied proposed vegetation will provide a nice mixture of colorful landscape. The landscape will provide an aesthetic appeal. As part of the conditions of approval the project will be required to meet the requirements set forth in Chapter 17.16.080 – Landscaping design and standards.



General Plan Compliance:

The proposed two-story duplex and associated improvements is permitted with the approval of a Site & Architectural Review application. The project is not requesting any special considerations or deviations from General Plan policies or its zoning ordinance. The project site is located within the Downtown Mixed-Use zone. The proposed building is well articulated and includes architectural features and paint colors that enhance the building's design ensuring it is an attractive addition to the City as required by LUCD Goal LU11 and Policies LUCD 11.1 and 11.2.

California Environmental Quality Act:

The proposed project has been evaluated to determine whether it could be exempt from CEQA. Staff has determined that the proposed project is exempt from CEQA subject to Section 15303 Class 3 (New Construction or Conversion of Small Structures). Section 15303(b) a duplex or similar multi-family residential structure, totaling no more than four dwelling units. In urbanized areas, this exemption applies to apartments, duplexes and similar structures designed for not more than four dwelling units. The project is consistent with exemption as it is only proposing a duplex and two accessory dwelling units.

CONCLUSION:

The Applicant is proposing to construct a two-story duplex with a lower unit at 965 square-foot and an upper unit at 977 square-foot, four (4) tandem parking spaces, private open space and two (2) accessory dwelling units at 444 square-foot each. The proposed project meets the Goals and Policies of the General Plan and the Zoning Ordinance. Conditions of Approval have been included to ensure that the project will continue to comply with all Hollister regulations, will not impact the surrounding area, and will maintain an attractive site.

PLANNING COMMISSION OPTIONS:

The Planning Commission can choose one of the following options:

1. Adopt a Resolution approving S&A 2023-9, subject to the findings and Conditions of Approval contained in the draft resolution (Attachment 1);
2. Adopt a Resolution approving S&A 2023-9, with findings or Conditions of Approval modified by the Planning Commission;
3. Deny the Proposed Project; or
4. Continue the hearing and direct Staff to provide additional information or clarification.

Staff recommends the Planning Commission select Option 1 for this Item.

GENERAL INFORMATION

APPLICANT: Anne Hall
San Benito Engineering & Surveying, Inc.
502 Monterey Street
Hollister, CA 95023

PROPERTY OWNER: Alan Brookshire
1530 Vallejo Drive
Hollister, CA 95023

LOCATION: 221 Hawkins Street

**ASSESSOR PARCEL
NUMBER:** APN 056-091-002

**GENERAL PLAN
DESIGNATION:** Medium Density Residential

ZONING DISTRICT: Downtown Mixed-Use (DMU)

SURROUNDING USES:

Location	Zoning Designation	General Plan Land Use	Current use of Property
Project Site	Downtown Mixed-Use	Downtown Mixed Use	Vacant
North	Downtown Mixed-Use	Downtown Mixed Use	Residential/Commercial
South	Home Office/Old Town Medium Density Residential	Home Office/ Medium Density Residential	Alley/Residential
East	Downtown Mixed-Use	Downtown Mixed Use	Big Sale Store
West	Downtown Mixed-Use	Downtown Mixed Use	7-Eleven Convenience Store

PLANNING COMMISSION RESOLUTION NO. 2024-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HOLLISTER APPROVING SITE AND ARCHITECTURAL REVIEW 2023-9 TO CONSTRUCT A DUPLEX (LOWER UNIT A: 965 SQ. FT./ UPPER UNIT B: 977 SQ. FT.) WITH TWO DETACHED ACCESSORY DWELLING UNITS (444 SQ. FT. EACH) AND FOUR (4) PARKING SPACES AT 221 HAWKINS STREET WITHIN THE DOWNTOWN MIXED-USE (DMU) ZONING DISTRICT (APN 056-091-002)

WHEREAS, the Applicant, Anne Hall, has submitted an application for Site and Architectural Review (S&A 2023-9) to construct a two-story duplex (Unit A: 965 sq. ft./ Unit B: 977 sq. ft.), two accessory dwelling units (444 sq. ft. each), four (4) tandem parking spaces, landscape and associated improvements located at 221 Hawkins Street, further identified as San Benito County Assessor Parcel Number 056-091-002; and

WHEREAS, the Applicant has submitted a complete application for the requested entitlements prepared by San Benito Engineering & Surveying, Inc. received by the Planning Division on December 7, 2023; and

WHEREAS, under the provisions of Section 17.24.060 of the City of Hollister, the City Planning Division received the Applicant's plans and forwarded the request to the Development Review Committee (DRC) to assess the proposal for compliance with all relevant regulations; and

WHEREAS, under the provisions of Section 17.24.190 of the Hollister Municipal Code, the Planning Commission is charged with receiving, investigating, and taking action on Site and Architectural Review applications; and

WHEREAS, the Development Review Committee considerations were presented to the Planning Commission as part of the Staff Report and the Conditions of Approval for the project; and

WHEREAS, a Staff Report was submitted to the Planning Commission of the City of Hollister recommending approval of a Site and Architectural Review; and

WHEREAS, the Planning Commission held a duly noticed public hearing on February 22, 2024 to consider Site and Architectural Review 2023-7, review the City Staff Report, and receive written and oral testimony for and against the proposal; and

WHEREAS, after closing the Public Hearing, the Planning Commission determined that the proposed project qualifies for a Notice of Exemption pursuant to Section 15303 Class 3 (New Construction or Conversion of Small Structures). The project is consistent with Section 15303 Class 3 because this exemption applies to projects in urbanized areas, where apartments, duplexes and similar structures designed for not more than four dwelling units; and

NOW THEREFORE IT IS RESOLVED that the Planning Commission of the City of Hollister does hereby make the following findings and determinations regarding the proposed Site and Architectural Review:

- A. The proposed project is consistent with the goals and policies of the General Plan, any applicable Specific Plans and any applicable design guidelines because:
1. The proposed project is consistent with the general plan which encourages to “maintain and enhance Hollister’s small town charm and identify. Organize and design the city with an attractive and positive image” (Goal LU1).
 2. The proposed project promotes diverse housing opportunities for existing and future residents as prescribed in Goal LU7.
 3. The proposed building designs adhere to Goal LU11 which encourages well-designed buildings that are compatible with their surroundings.
- B. The proposed Project, as conditioned, is consistent with the provisions of Title 17, Commercial and Mixed Use Zoning District, of Hollister Municipal Code including the requirements of the Zoning District in which the property is located because:
1. The proposed project is a two-story duplex with parking and two accessory dwelling units as well as associated improvements, it is well designed and consistent with the Mixed Use Zoning District supplemental standards of Chapter 17.08.050.
 2. The proposed project meets Chapter 17.08.030 Commercial and Mixed-Use Zone general development standards which include avoidance of unarticulated shaped buildings, pedestrian-friendly access between structures, attractively landscaped parking, and aligns with the character of neighboring buildings.
 3. The proposed Landscape Plan includes tree planting, ground coverage, as well as shrubbery. In accordance with the Conditions of Approval for this project. The proposed landscaping, as conditioned, is consistent with Section 17.16.080(D) of the Zoning Ordinance.
- C. The proposed development will not be detrimental to public health, safety or welfare of persons residing in or working in the neighborhood or to the general welfare of the City because:
1. The proposed project proposes to construct a duplex with associated improvements. The proposed residential project is surrounded by developed properties. The City, as the lead agency, will file a Notice of Exemption (NOE) pursuant to Section 15303. The Project is not expected to create an impact on the environment.
 2. The proposed project will construct a two-story duplex with parking, private open space, and landscaping. The project will provide housing which is a need that has not been met within the City of Hollister. The project will provide adequate landscaping, pedestrian-friendly access and parking. The project was routed to the City’s DRC, where the project has been reviewed and conditioned accordingly.

- D. Architectural considerations including the character, scale and quality of the design, site layout, screening of unsightly uses, lighting, building materials and colors result in a project that is harmonious with its surroundings, is compatible with other developments in the vicinity, and complies with any applicable design guidelines or standards adopted by the City.
1. The proposed project is attractively designed with architectural features throughout. The proposed architectural features, materials and colors create visual interest and an enhanced aesthetic appeal. Additionally, the building is well oriented, provides adequate vehicle circulation and pedestrian-friendly access.
 2. The proposed project meets the building design general development standards of the commercial and mixed-use zone industrial zoning district performance standards. The proposal includes adequate building orientation, harmonious but not necessarily uniform architectural styles. Additionally, the building provides articulated entries and other architectural features where building walls are visible from streets.
 3. Additionally, the proposed development is well designed and will be an attractive addition to the City as required by the General Plan LUCD Goal LU11 and Policies LUCD 11.1 and 11.2.
- E. The proposed project is consistent with all applicable requirements of the Municipal Code and applicable Specific Plan related to landscaping and screening, including the location, type, size, water efficiency and coverage of plant materials to ensure visual relief, adequate screening, and an attractive environment for the public.
1. The proposed project site is well landscaped including a street tree and water efficient vegetation.
 2. The project will provide attractive open space in the form of a ground-floor patio and an upper-floor deck and common recreational space as required by LUCD Goal LU3 and Policy LU3.5.
- F. The site has been adequately designed to ensure adequate parking to serve the project and proper circulation for bicyclists, pedestrians, and automobiles.
1. The proposed project will provide four (4) on-site tandem parking spaces for the duplex. State regulation does not require parking spaces for accessory dwelling units located within ½ mile from public transportation. Additionally, Hawkins Street provides on-street parking.

**CONDITIONS OF APPROVAL
S&A 2023-9**

General Conditions

1. **Approval.** This Site and Architectural Review approval is for the Brookshire Apartments (S&A 2023-9). The proposed residential development shall be in substantial conformance to Exhibit A (Project Plans) prepared by San Benito Engineering & Surveying, Inc. and dated "Received, December 7, 2023" on file with the Planning Division, and other plans, text and diagrams relating to this Site and Architectural Review, except as modified by the following conditions. The elevations and improvements shall strictly adhere to the approved set of plans unless prior approval is granted by Director of Development Services for changes.
2. **Permit Expiration.** In accordance with Section 17.24.130(E)(1) of the Municipal Code, this Site and Architectural Review approval shall expire two (2) years from the date of approval unless a Building Permit is obtained.
3. **Time Extension.** In accordance with Section 17.24.130(E)(2) of the Municipal Code, the Director of Development Services may extend the time for an approved permit to be exercised upon the Applicant(s) written request for an extension of approval at least 30 (thirty) days prior to expiration of the permit together with the filing fee. If the Director determines that the permittee has proceeded in good faith and has exercised due diligence in complying with the conditions in a timely manner, the Director may renew the permit for up to two additional years.
4. **Permit Validity.** This Site and Architectural Review approval shall be valid for the life of the approved structure so long as the operators of the subject property properly comply with the project's conditions of approval.
5. **Appeal Period.** The building permit plan check package will be accepted for submittal after the completion of the 15-day appeal period for the project, unless the Director of Development Services authorizes the project developer to submit a signed statement acknowledging that the plan check fees will be forfeited in the event that the approval is overturned on appeal or that the design is significantly changed as a result of the appeal. In no case will a building permit be issued until the appeal period has expired or a final action is taken on appeal.
6. **Revocation of Permit.** The Site and Architectural Review approval shall be revocable for cause in accordance with Section 17.24.350 of the Hollister Municipal Code. Any violation of the terms or conditions of this permit shall be subject to citation.
7. **Indemnification.** The Applicant/Developer shall defend, indemnify, and hold harmless the City of Hollister and its agents, officers, employees, advisory board from any claim, action, or proceeding against the City of Hollister or its agents, officers, or employees to attack, set aside, void or annul an approval of the City of Hollister or its advisory agency, appeal board, Planning Commission, City Council, Director of Development Services or any other department, committee, or agency of the City related to this project to the extent that such actions are brought within the time period required by Government Code Section 66499.37 or other applicable law; provided, however that

the Applicant/Developer's duty to so defend, indemnify, and hold harmless shall be subject to the City's promptly notifying the Applicant/Developer of any claim against the City and shall cooperate in the defense.

8. **Clean-up.** The Applicant/Developer shall be responsible for clean-up and disposal of project related trash to maintain a safe, clean and litter free site.
9. **Modifications.** Modifications or changes to this Site and Architectural Review may be considered by the Director of Development Services if the modifications or changes proposed comply with Section 17.24.130(F) of the Municipal Code.
10. **Clarification of Conditions.** In the event that there needs to be clarification to the Conditions of Approval, the Director of Development Services and the City Engineer have the authority to clarify the intent of these Conditions of Approval to the Developer without going to a public hearing. The Director of Development Services and City Engineer also have the authority to make minor modifications to these conditions without going to a public hearing in order for the Developer to fulfill needed improvements or mitigations resulting from impacts to this project.
11. **Noise During Construction.** Construction activities on the project site must employ noise suppression devices and techniques and shall be limited to the hours of 7:00 a.m. to 6:00 p.m. Monday through Friday and 8:00 a.m. to 6:00 p.m. on Saturdays and shall be prohibited on Sundays and federally recognized holidays per Ordinance 1137 of the Hollister Municipal Code. No construction, landscape maintenance or grounds maintenances actives shall occur on federal holidays. Construction equipment and activities shall not use noise suppression devices and techniques.
12. **Overtime Inspections.** Arrangements for overtime inspection services and payment of fees for same shall be made at least 48 hours in advance and are subject to inspection availability and approval by the City Engineer. Alternatively, the Applicant may engage a third-party inspector at its own expense, so long as the identity of such inspector and work is approved in advance in writing by the City. Any work performed without inspection is subject to rejection by the City is in City's reasonable determination.
13. **Code Enforcement.** Prior to issuance of a building permit, the applicant shall not be in violation of the City of Hollister Municipal Code involving the project site. More specifically, Section 1.16.100, Refusal to issue permits, license or other entitlements, which states "no department, commission or public employee of the city which is vested with the duty or authority to issue or approve permits, licenses or other entitlements shall issue or approve such permits, licenses or other entitlements where there is an outstanding violation involving the property upon which there is a pending application for such permit, license or other entitlement."

Planning Department - Standard Conditions

14. **Colors.** The Applicant may be required to paint a portion of the building the proposed colors for review and approval by the Development Services Director prior to painting the building(s).

Planning Department – Project Specific Conditions

15. **Future Modifications.** Any future modifications to the exterior of the building or the landscaping shall require review and approval by the City in a manner determined by the Development Services Director.
16. **Notice of Exemption.** Within 5 calendar days of the date of this approval, the Applicant shall file a check with the City of Hollister for the filing of the Notice of Exemption with the County Recorder's Office. The check shall be in the amount required by the San Benito County Recorder's Office for such filing and may include the fees required by the California Department of Fish and Wildlife.

Landscaping – Standard Conditions

17. **Final Landscape and Irrigation Plans.** Final Landscape and Irrigation Plans, all written documentation, and an Application Fee as required by Chapter 15.22, Water Efficient Landscape Ordinance, shall be submitted to the Planning Division in conjunction with an application for a building permit. The Plans shall be prepared and stamped by a State licensed landscape architect or registered engineer shall be submitted for review and approval by the Development Services Director. The Plans shall be approved, and all landscaping shall be installed prior to Occupancy.
18. **Plant Maintenance.** The Applicant and/or property owner shall continuously maintain all trees, shrubs, and groundcover shown on the approved Landscape Plans including replacing dead or dying species with the same species, pruning and regular watering.
19. **Maintenance of Irrigation.** The property owner shall be responsible for maintenance of all on-site landscaping and irrigation systems, which shall be kept in a neat, clean and healthy manner and in compliance with the approved plans. The property owner will maintain the approved landscaping in perpetuity. No trees, shrubs, or plant material shall obstruct site distance of motorists and pedestrians.

Recology – Project-Specific Conditions

20. **Alley.** The 12' alley will not be used by a garbage truck.
21. **Toters.** This project, with 9 potential toters for pick up on Hawkins St., is acceptable to Recology.

Building – Standard Conditions

22. **Electric Meter/MSP.** The designer shall reconsider the proposed location of the electric meter/MSP identified on sheets A-1 and A-2. Provide a minimum of 36-inch clearance from the edge of doors and windows.
23. **Building Codes and Ordinances.** All project construction shall conform to all local and State energy and seismic requirements, all applicable Building and Fire Codes and ordinances in effect at the time of building permit issuance.

24. **Building Permits.** Prior to any site improvements or construction, the Applicant shall submit a building permit application and receive a building permit from the City Building Division. The Applicant/Developer will be responsible for obtaining the approvals of all participation non-City agencies prior to the issuance of building permits. All improvements shall strictly adhere to the approved site plan, unless prior approval is granted by the City for changes.
25. **Conditions of Approval.** Each set of plans submitted for a building permit shall have attached an annotated copy of these Conditions of Approval. The notations shall clearly indicate how all Conditions of Approval will or have been complied with. Construction plans will not be accepted without the annotated Conditions of Approval attached to each set of plans.

Engineering – Standard Conditions

26. **Development Improvement Agreement.** Prior to approval of the Improvement Plans, a signed and notarized Development Improvement Agreement, and all required material necessary to present the development to the City Council, shall be submitted to the City Engineer at least 30 days prior to the Council meeting. The material shall be submitted in a form satisfactory to the City Engineer.
27. **Maintenance Agreement.** Prior to issuing a certificate of occupancy or a temporary certificate of occupancy, Developer and City shall execute an agreement for the maintenance of private improvements.
28. **Design.** Developer shall design improvements in accordance with City Design Standards, Standard Specifications, and Standard Plans (collectively referred to as “City Standards”), applicable codes and ordinances, geotechnical recommendations, and industry best practices to the satisfaction of the City Engineer.
29. **Improvement Plan Package.** Developer shall submit a complete Improvement Plans package for review and approval by the City Engineer. The submittal shall include all necessary supporting documentation, required plan checking fees, and all other items required by Hollister Municipal Code Chapter 16 and the City Engineer.
30. **Approved Resolution.** A complete hard copy of the approved signed resolution shall be included with the submittal of the Improvement /Grading Plans to the City Engineer.
31. **Soils Report.** As part of the S&A approval, a geotechnical soils report shall be submitted to comply with the current building code in accordance with the provisions of the City Subdivision Ordinance.
32. **Drainage Report.** A drainage report shall be submitted for review and approval by the City Engineer. The drainage report shall include, but is not limited to, depiction of all tributary areas on and to the site and shall provide all information pertinent to the capability of the proposed drainage facilities to handle the expected post-construction storm water management (LID, runoff control and reduction, water quality treatment, etc.), and flood control measures as required for the site. Additionally, the report shall include or incorporate the grading plan, CSCP, SWCP, and landscape plan for the project.

33. **Fire Hydrants.** Developer shall coordinate the location of fire hydrants with the City of Hollister Fire Department. The Fire Chief, or his designees shall approve the location of fire hydrants. Developer shall show the fire hydrants at the approved locations on the Improvement Plans.
34. **Water Supply.** Developer shall provide calculations to show sufficient water supply for fire suppression for buildings.
35. **Connections to Existing City Utilities.** Developer shall construct a minimum of two connections to the water distribution system. Developer shall replace existing storm water and sanitary sewer manholes as required by the City Engineer.
36. **Sanitary Sewer and Storm Drain Capacity Analysis and Water.** Developer shall provide a storm drain system, water distribution system, and sanitary sewer collection system capacity study with the first submittal of improvement plans. City Engineer shall determine if any offsite improvements are necessary and may require Developer to construct off-site improvements to serve the site.
37. **Utility Meters.** Each dwelling unit shall be metered separately for electricity, gas, water, and sewer services. Water meters shall be Radio Read Meters; for details, contact the Community Services Department Utilities Division at (831) 636-4377. Water for irrigation shall be separately metered.
38. **Existing Site Conditions.** The improvement plans shall clearly show all existing structures, site improvements, utilities, water wells, septic tanks, leach fields, gas and wire services, etc. The plan shall include any pertinent off-site water well and private waste disposal systems that are located within regulated distances to the proposed drainage and utility improvements. The plan shall include the proposed disposition of the improvements and any proposed phasing of their demolition and removal.
39. **Existing Easements.** The Improvement plans shall show and clarify the extent of all existing public and private easements. Developer shall provide any additional clarification regarding the use and disposition of any water wells. Any private water well service piping that crosses or is proposed to cross an existing or future public right-of-way shall be approved by the City and shall be covered by an Encroachment Agreement to be recorded in a format approved by the City. Developer shall provide any additional clarifications, amendments, and/or quit-claims on any outstanding private easement agreements, as necessary.
40. **Improvements in the Public Right of Way.** Developer shall construct improvements, including, but not limited to, sidewalk, curb, gutter, lighting, undergrounding of any existing overhead utilities, irrigation, landscaping, and pavement rehabilitation for the width of the road, as determined by the City Engineer. Improvements may be required beyond the frontage of the property, such as, constructing sidewalk to close gaps in the sidewalk network.
41. **Residential Fencing.** Prior to occupancy, residential fencing shall be installed or replaced along the residential boundary, in accordance with City standards and as required by the City Engineer. Residential fencing on interior lots shall comply with the fence standards in the Hollister Municipal

Code. Fencing of the development shall be placed along all residential boundaries. Double fencing shall not be allowed.

42. **Private Utility Services.** Developer shall make arrangements for PG&E, AT&T, or any other utilities authorized to operate in the City of Hollister and shall subsequently provide the City Engineer with each utility's easement needs as part of the initial submittal. Developer shall provide said utility companies with a copy of the final entitlement plans. All such utility work shall be done in accordance with Joint Utility requirements as well as the City of Hollister Specifications and Details.
43. **Site Clearance.** Prior to receiving issuance of a grading permit, the project site shall be properly cleared of all fences, wells, septic tanks, irrigation pipes, fuel tanks and other structures. Certificates from the County Environmental Health Department shall be provided to the City Engineer for any well or septic tank abandonment, and from the City Fire Department for abandoned fuel tanks.
44. **Construction Stormwater BMP Control Plan (CSCP).** Prior to any site development or grading, the applicant shall submit for review and approval by the Engineering Department a CSCP for construction stormwater runoff BMP control measures.
45. **Post-Construction Storm Water Control Plan (SWCP).** Prior to any site development or grading, Developer shall submit a SWCP (or the City's Stormwater Management Post Construction Requirement Form if the project is exempt) for review and approval by the Engineering Department. The SWCP shall meet the requirements of the California Regional Water Quality Control Board Central Coast Region, Resolution No. R3-2013-0032 dated July 12, 2013 (PCRs), entitled Post-Construction Storm Water Management Requirements for Development Projects in the Central Coast Region, as applicable and shall address all required post-construction storm water runoff BMP control measures, as applicable. The Developer shall submit the SWCP as part of the plan, for City review and approval. The Developer is advised that the Engineer of Record shall inspect and provide certification to the City of Hollister that all storm water post-construction improvements are properly installed and comply with the approved civil design plans.
46. **Grading and Drainage Plan.** Prior to any site development or grading, Developer shall submit for review and approval by the Engineering Department a grading plan that complies with Chapter 15.24 "Grading and Best Management Practice Control" and Section 17.16.140 "Stormwater Management" of the Hollister Municipal Code and all subsequent amendments to those codes. Low Impact Development (LID) strategies shall be considered and incorporated as part of site planning and design as appropriately feasible.
47. **Improvements Prior to Occupancy.** To ensure adequate access for emergency response vehicles and water supply for fire suppression, the issuance of any building permit shall be subject to the requirements of City Council Resolution 95-08, A Resolution of the City Council of the City of Hollister Establishing a Policy Relating to Home Construction in Incomplete Subdivisions or any subsequent policy. No certificate of occupancy shall be issued for any unit prior to the completion

of such improvements.

48. **Development Impact Fee.** All development impact fees must be paid prior to receiving final occupancy from the building department. The development impact fees shall be based on those in effect at the time of connection. Developer must pay all development impact fees due to the City and/or the County on the date of the final inspection, or the date the certificate of occupancy is issued for each residence, whichever occurs first.

Development impact fees that apply to the project are listed below:

- a. Water (City of Hollister)
- b. Traffic
- c. Sewer Treatment
- d. Sewer Collection
- e. Storm Drainage
- f. Park
- g. Library
- h. Police
- i. Fire
- j. Detention (Jail/Juvenile Hall) Facilities
- k. City Hall/City Yard
- l. Fair share contribution

For a complete list of all applicable impact fees, please contact the City of Hollister Engineering Department at 831-636-4340. Such list is also made available on our City website, under Engineering Department.

Note: School Impact Fees, unless otherwise required by law, shall be paid to the school district(s) prior to building permit issuance.

49. **Fees.** Prior to Improvement or Grading Plan approval, Developer shall pay all fees including, but not limited to, fees required by reimbursement agreements, drainage agreements, improvement plan checking and inspection fees, as well as any applicable fees pursuant to the Public Works Master plan.
50. **Fair Share Development Contribution Fee.** Prior to Improvement Plan approval, Developer shall pay all required fair share development contribution fees for common and planned improvements.
51. **Water Mains and Services.** At the time of the service inspection, a lay length spacer pipe shall be set in place of the meter and shall be drilled with holes that have a minimum diameter of ¼", as approved the City inspector.
52. **Pavement Resurfacing.** Prior to the City's acceptance of the subdivision improvements, the subdivision roads and vicinity roads shall be in a good state of repair as determined by the City Engineering Department. Roads on the project site and vicinity determined not to be in a good

state of repair by the City Engineering Department, or that have utility trench cuts, shall be repaired curb to curb by the applicant using Type II slurry seal or grind and overlay per City Standard drawing E-4-2. The limits of the pavement resurfacing shall be shown on the plans. All pavement legends and striping shall be placed and/or redone. Thermoplastic material shall be used for the road markings.

53. **On-Site Drainage.** Developer shall be responsible to maintain all on-site drainage facilities, including underground chambers, bio-filtration basins and conduit (pipe).
54. **Encroachment Permit.** Developer shall obtain an encroachment permit prior to any work within the existing right of way.
55. **Surety.** Prior to issuance of a grading permit, Developer shall provide approved surety in the amount of 100% of the Engineers Estimate for Performance surety and Labor and Material surety, pay all applicable fees, provide a work schedule, as well as insurance certificates as required per City Standards and Municipal Code sections 15.24.120 and 15.24.315.
56. **Addresses.** Prior to building permit issuance, address requests shall be submitted to the Engineering Department along with an AutoCAD file with line work showing the property lines, curb, gutter, and sidewalk.
57. **Utility Clearance.** No buildings, trees, bushes, other structures shall be placed within ten feet (10') of the water, storm water, or sanitary sewer mains unless approved by the City Engineer.
58. **Landscape/Irrigation Maintenance.** The property owner shall be responsible for maintenance of all on-site landscaping and irrigation systems, which shall be kept in a neat, clean and healthy manner and in compliance with the approved plans. Developer will maintain the approved landscaping in perpetuity. No trees, shrubs, or plant material shall obstruct site distance of motorists and pedestrians.
59. **Construction.** Developer shall construct improvements in accordance with the approved plans, City Standard and to the satisfaction of the City Engineer. All applicable codes and ordinances, along with the recommendations of the City Engineer and any required Geological Investigation, are to be adhered to. Developer shall construct underground improvements prior to the construction of concrete flatwork and pavement. All construction in the right-of-way shall be completed prior to final building approval.
60. **Inspection.** City shall inspect construction of improvements. Developer shall schedule inspections not less than 24 hours before the work. Developer shall correct deficiencies identified by City's inspector immediately unless otherwise agreed to by the City Engineer.
61. **Inspection of Underground Improvements.** Underground improvements shall be inspected prior to backfilling. If backfill is placed prior to inspection, Developer shall expose the improvements for inspection.
62. **Closed Circuit Television (CCTV).** Before start of construction and prior to acceptance of the work,

Developer shall provide industry-standard CCTV recording of the storm water system and sanitary sewer system, to the extent required by the City Inspector, to the City.

63. **Fire Department Access.** Developer shall continuously provide Fire Department access to and within the property, including fire hydrant access, circulation routes, passing lanes, and turn-around areas as approved by the Fire Chief.
64. **Noise During Construction.** Developer shall employ noise suppression devices and techniques for construction activities, including noise suppression devices on equipment, to the satisfaction of the City Engineer.
65. **Construction Equipment.** Developer shall maintain construction equipment and properly tune in accordance with manufacturer's specifications. Equipment shall be checked by a certified visible emissions evaluator. All non-road diesel construction equipment shall at a minimum meet Tier 3 emission standards listed in the Code of Federal Regulations Title 40, Part 89, Subpart B, 89.112.
66. **Construction Hours.** Construction activities shall be limited to the hours of 7:00 am to 6:00 pm. Monday through Friday and 8:00 am to 6:00 pm on Saturdays. Construction activities are prohibited on Sundays and federally recognized holidays per Ordinance 1137 of the Hollister Municipal Code. No Construction, Landscape Maintenance, or Grounds Maintenance activities shall occur on federal holidays.
67. **Construction Dust and Emissions.** To reduce dust emissions from demolition, grading, and construction activities on the project site, the following language shall be included in all grading and construction plans for the project prior to issuance of demolition or grading permits:
 - a. Dust control measures shall be employed to reduce visible dust leaving the project site. The following measures or equally effective substitute measures shall be used:
 - b. When available, recycled water to add moisture to the areas of disturbed soils twice a day, every day, to prevent visible dust from being blown by the wind. Check with the Public Works Department for the availability of recycled water;
 - c. Apply chemical soil stabilizers or dust suppressants on disturbed soils that will not be actively graded for a period of four or more consecutive days;
 - d. Apply non-toxic binders and/or hydro seed disturbed soils where grading is completed, but on which more than four days will pass prior to paving, foundation construction, or placement of other permanent cover;
 - e. Cover or otherwise stabilize stockpiles that will not be actively used for a period of four or more consecutive days, or water at least twice daily as necessary to prevent visible dust leaving the site, using raw or recycled water when feasible;
 - f. Maintain at least two feet of free board and cover all trucks hauling dirt, sand, or loose materials;
 - g. Install wheel washers at all construction site exit points, and sweep streets if visible soil material is carried onto paved surfaces;
 - h. Stop grading, and earth moving if winds exceed 15 miles per hour;
 - i. Pave roads, driveways, and parking areas at the earliest point feasible within the construction schedule;

- j. Post a publicly visible sign with the telephone number and person to contact regarding dust complaints. This person shall respond and take corrective action within 48 hours of receiving the complaint. The phone number of the Monterey Bay Air Resources District shall also be visible to ensure compliance with Rule 402 (Nuisance);
 - k. Limit the area under construction at any one time; and
 - l. Construction equipment shall use alternative fuels such as compressed natural gas (CNG), propane, electricity or biodiesel whenever possible.
68. **Damage to Existing and New Improvements.** Developer shall replace existing and new improvements removed or damaged as determined by the City Engineer.
69. **Truck Circulation, Construction Management, and Staging.** A truck circulation plan and construction management and staging plan shall be included with any demolition, stockpile, grading, or improvement plan submittal. The plans shall include:
- a. General truck routes shall be submitted for review and acceptance by the City.
 - b. The engineer of record shall provide a summary of the extent of cut and fill with estimates on the yards of import and export material. The summary shall include rough grading, utility trench construction, road construction, AC paving, concrete delivery, and vertical construction loading estimates on the existing City of Hollister roadways.
70. **Improvement Plans.** The public improvement plan submittal shall show all existing and proposed overhead wire utilities. Any existing overhead primary and secondary wiring serving the property shall be undergrounded in conjunction with the project improvements. Unless otherwise specifically approved, pole relocation in lieu of undergrounding is not permitted. Off-site service drops shall be eliminated. The new service feeds for the project shall be completed by underground wiring without a net increase in utility poles. Terminal end utility poles shall be located off-site unless otherwise approved by the City.
71. **Undergrounding Utilities.** Developer shall exhaust all reasonable efforts to eliminate or underground the existing overhead wiring located along Hawkins Street. The elimination and/or undergrounding shall consider existing services and/or utilization equipment to remain. The plan to eliminate, reduce, or underground the existing services shall be approved to the satisfaction of the City and PG&E. Any proposal for partial undergrounding, waiver, or deferral shall be subject to the approval of the Community Development Director.
72. **Preliminary Plans.** Preliminary undergrounding plans for the entire project shall be processed through PG&E and any respective wire utility companies in conjunction with public improvement plan submittal. The preliminary PG&E plans/memo shall be provided to the engineer of record and the City for review and approval prior to commencing with the PGE final handout package. The final PGE handout package shall be approved by the engineer of record and City prior to commencing with construction.
73. **As-Built Plans.** Developer shall provide the City Engineering Department with an electronic pdf and AutoCAD copy of the final as-built plans as well as one Mylar print and one reproduction copy. The final as-built must be updated with all changes made during construction such as additions and deletions, including changes that were made to reflect actual site conditions.

74. **Deed Restriction.** A deed restriction shall be recorded prior to occupancy for all on-site post construction requirements including, but not limited to, pervious paving, bio-filtration, and pipe. This will guarantee maintenance of drainage features.
75. **Improvement Warranty.** Developer shall warranty improvements for one year. Contractor shall provide a warranty bond prior to acceptance of the improvements.
76. **Reduced Pressure Principal (RPP).** When the City of Hollister deems it necessary, the applicant shall be required to install an RPP backflow prevention device at their sites which shall meet the following criteria:
- a. The RPP shall conform to all AWWA (American Water Works Association) standards and shall be appropriately sized for the specific application on the site.
 - b. The RPP shall be inspected by a certified California-Nevada AWWA Backflow Prevention Assembly General Tester. The Utility Division shall provide a list of acceptable Assembly Testers within the area.
 - c. The Utility Division shall receive a copy of the initial RPP inspection report.
 - d. Any and all RPP defects shall be immediately repaired or replaced prior to the Utility Division reestablishing water service to the sites. The owner/operators shall have the RPP inspected/tested each year thereafter, with all reports forwarded to the Utility Division.
 - e. Should the RPP fail to pass any inspection or test, the device shall be immediately repaired or replaced, with all repair and/or replacement reports forwarded to the Utility Division.
 - f. The RPP shall be installed according to AWWA standards, in regards to concrete padding and surrounding landscape/RPP height requirements.
 - g. The RPP shall be installed inside a wire-mesh cage enclosure, preferably green in color, with a hinge on one end and a locking hasp device on the other to prevent vandalism and unauthorized entries.
 - h. The RPP shall be installed at a site between the City's water meter and the building inside the property line where the RPP can be readily observed and be easily accessible for future inspections.

Fire Department – Standard Conditions

77. **Construction and Design Provisions.** The construction and design provisions of the fire code shall apply as follows:
- a. Structures, facilities and conditions arising after the adoption of this code.
 - b. Existing structures, facilities and conditions not legally in existence at the time of adoption of this code.
 - c. Existing structures, facilities and conditions when identified in specific sections of this code.
 - d. Existing structures, facilities and conditions, which, in the opinion of the Fire Code Official, constitutes a distinct hazard to life and property.
 - e. Existing Structures, alterations and repairs:
 - i. All new work performed in alterations and/or repairs to existing structures shall comply with the current provisions of this Chapter.

- ii. When alterations and/or repairs result in the removal, alteration, modification, replacement and/or repair of fifty percent or more of the external walls of a building, or result in the removal, alteration, modification, replacement and/or repair of fifty percent or more of the existing internal structural and/or non-structural framework, independently or in combinations thereof, within a five-year period, the entire building shall be made to conform to the current provisions of this Chapter.
 - iii. Calculations of linear wall measurements shall be shown on all plans submitted for building permits, on the cover page in the project description of said plans.
 - iv. The determination under this section of the requirements for upgrading any existing structure to full conformance with current provisions of this Chapter shall be at the sole discretion of the Fire Code Official.
78. **Occupancy Prohibited Before Approval.** The building or structure shall not be occupied prior to the fire code official issuing a permit and conducting associated inspections indicating the applicable provisions of this code have been met.
79. **Construction Document Submittals.** Construction documents and supporting data shall be submitted in two or more sets with each application for a permit and in such form and detail as required by the Fire Code Official. The construction documents shall be prepared by a registered design professional where required by the statutes of the jurisdiction in which the project is to be constructed.
80. **Information on Construction Documents.** Construction documents shall be drawn to scale on suitable material. Electronic media documents are allowed to be submitted where approved by the Fire Code Official. Construction documents shall be of sufficient clarity to indicate the location, nature and extent of the work proposed and show in detail that it will conform to the provisions of this code and relevant laws, ordinances rules and regulations as determined by the Fire Code Official.
81. **Fire Protection System Shop Drawings.** Shop drawings for the fire protection system(s) shall be submitted to indicate compliance with this code and the construction documents and shall be approved prior to the start of installation. Shop drawings shall contain all information as required by the referenced installation standards found in Chapter 9 of the California Fire Code.
82. **Vegetation.** Weeds, grass, vines, or other growth that is capable of being ignited and endangering property shall be cut down and removed by the owner or occupant of the premises. Vegetation clearance requirements in urban-wildland interface areas shall be in accordance with Chapter 49 of the California Fire Code.
83. **California Code of Regulations, Title 19, Division 1, §3.07(b) Clearances.** The space surrounding every building or structure shall be maintained in accordance with the following:

Any person that owns, leases, controls, operates, or maintains any building or structure in, upon, or adjoining any mountainous area or forest-covered lands, brush covered lands, or grass-covered lands, or any land which is covered with flammable material, shall at all times do all of the following:

- a. Maintain around and adjacent to such building or structure a firebreak made by removing and clearing away, for a distance of not less than 30 feet on each side thereof or to the property line, whichever is nearer, all flammable vegetation or other combustible growth. This section does not apply to single specimens of trees, ornamental shrubbery, or similar plants which are used as ground cover, if they do not form a means of rapidly transmitting fire from the native growth to any building or structure.
 - b. Maintain around and adjacent to any such building or structure additional fire protection or firebreak made by removing all bush, flammable vegetation, or combustible growth which is located from 30 feet to 100 feet from such building or structure or to the property line, whichever is nearer, as may be required by the enforcing agency if he finds that, because of extra hazardous conditions, a firebreak of only 30 feet around such building or structure is not sufficient to provide reasonable fire safety. Grass and other vegetation located more than 30 feet from such building or structure and less than 18 inches in height above the ground may be maintained where necessary to stabilize the soil and prevent erosion.
84. **Buildings and facilities.** Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet (45 720 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.
85. **Address Identification.** New and existing buildings shall be provided with approved address identification. The address identification shall be legible and placed in a position that is visible from the street or road fronting the property. Address identification characters shall contrast with their background. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall not be spelled out. Each character shall be not less than 4 inches (102 mm) high with a minimum stroke width of ½ inch (12.7 mm). Where required by the fire code official, address identification shall be provided in additional approved locations to facilitate emergency response. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address identification shall be maintained.
86. **Buildings and facilities.** Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet (45 720 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.
87. **Address Identification.** New and existing buildings shall be provided with approved address identification. The address identification shall be legible and placed in a position that is visible from the street or road fronting the property. Address identification characters shall contrast with their background. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall not be spelled out. Each character shall be not less than 4 inches (102 mm) high with a

minimum stroke width of $\frac{1}{2}$ inch (12.7 mm). Where required by the fire code official, address identification shall be provided in additional approved locations to facilitate emergency response. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address identification shall be maintained.

88. **Fire Flow.** Fire-flow requirements for buildings or portions of buildings and facilities shall be determined by an approved method of Appendix B.
89. **Hydrant.** Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.
90. **Clear Space Around Hydrants.** A 3-foot (914 mm) clear space shall be maintained around the circumference of fire hydrants, except as otherwise required or approved.
91. **Utility Identification.** Where required by the fire code official, gas shutoff valves, electric meters, service switches and other utility equipment shall be clearly and legibly marked to identify the unit of space that it serves. Identification shall be made in an approved manner, readily visible and shall be maintained.
92. **Occupancy.** It shall be unlawful to occupy any portion of a building or structure until the required fire detection, alarm and suppression systems have been tested and approved.
93. **Approved Automatic Sprinkler Systems.** Shall be provided in all new buildings and structures constructed, moved into or relocated within the jurisdiction.
94. **Portable Fire Extinguishers.** Structures under construction, alteration or demolition shall be provided with not less than one approved portable fire extinguisher in accordance with Section 906 and sized for not less than ordinary hazard as follows:
 - a. At each stairway on all floor levels where combustible materials have accumulated.
 - b. In every storage and construction shed.
 - c. Additional portable fire extinguishers shall be provided where special hazards exist including, but not limited to, the storage and use of flammable and combustible liquids.
95. **Standard Defensible Space Requirements.** Combustible vegetation shall be removed from within a minimum 100 feet or to the property line from structures, whichever is closer.
96. **Final Fire Inspection.** To schedule a final fire life safety inspection and pay associated fees please call (831) 636-4325.

PASSED AND ADOPTED, at a regular meeting of the City of Hollister Planning Commission held on this 22nd day of February 2024, by the following vote:

AYES:

NOES:
ABSTAINED:
ABSENT:

Chairperson of the Planning Commission
of the City of Hollister

ATTEST:

Christine Hopper, Secretary

Please Note

It is the sole responsibility of the project applicant to comply with the conditions as approved, modified, or added by the Planning Commission. It is recommended that the applicant review these conditions carefully and if any questions arise as to compliance with the conditions, please do not hesitate to contact the staff planner. Also, if you do not agree with the proposed conditions, you have an opportunity to present your case to the City Council at their meeting. In addition, the City provides for a 15-day appeal period.

SITE & ARCHITECTURAL REVIEW

BROOKSHIRE APARTMENTS

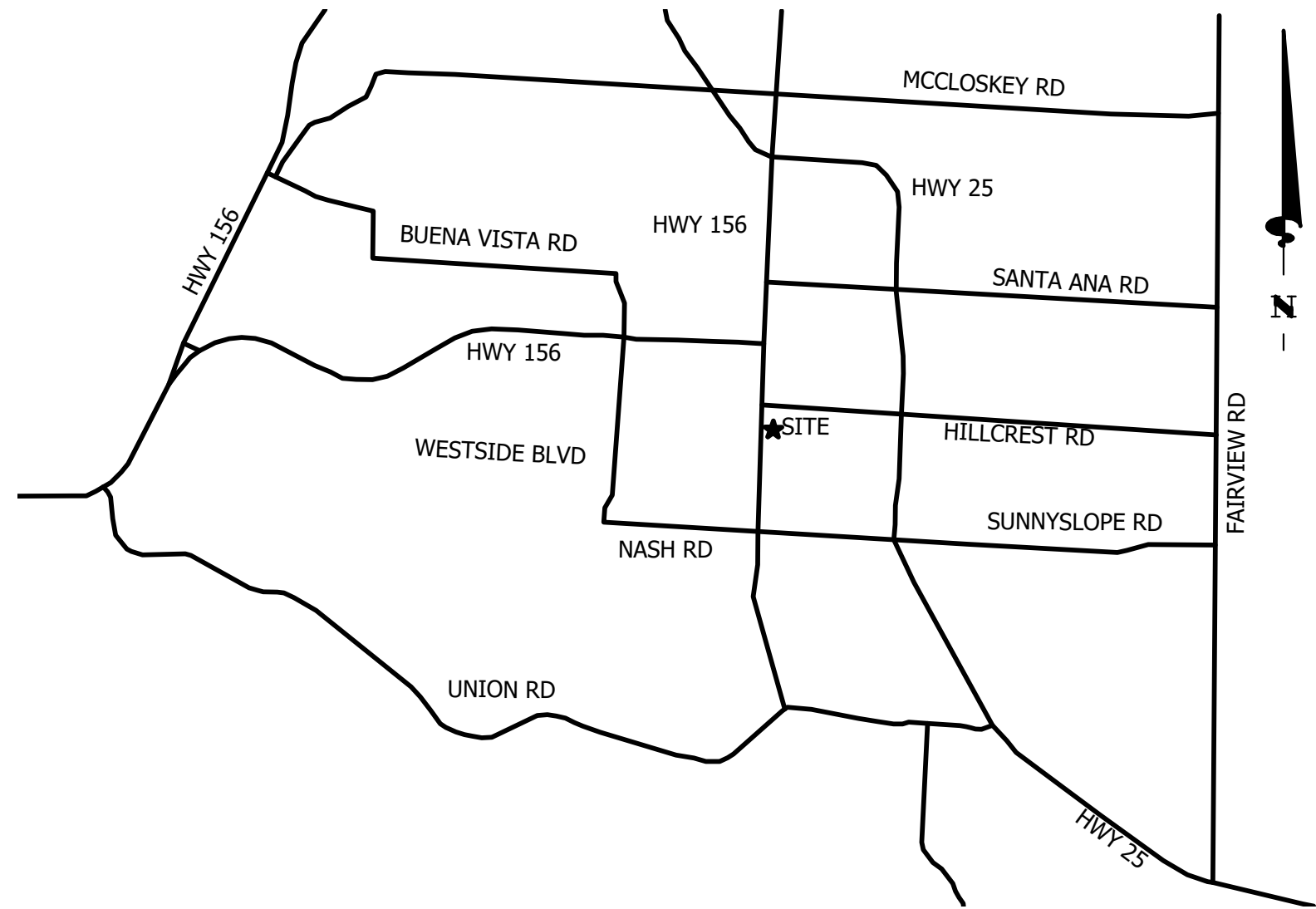
221 HAWKINS STREET

ALAN BROOKSHIRE
1530 VALLEJO DR
HOLLISTER, CA 95023
831-261-4786

DEC, 2023 SCALE AS INDICATED

SAN BENITO ENGINEERING & SURVEYING, INC.

502 MONTEREY STREET
HOLLISTER, CALIFORNIA 95023
(831) 637-2763 FAX: (831) 854-9581
E-MAIL: info@sanbenitoeng.com



VICINITY MAP
NO SCALE

OWNER: ALAN BROOKSHIRE
1530 VALLEJO DRIVE
HOLLISTER, CA 95023
831-261-4786

APPLICANT: ANNE HALL
& ENGINEER: SAN BENITO ENGINEERING & SURVEYING, INC.
502 MONTEREY STREET
HOLLISTER, CA 95023
831-637-2763

ASSESSORS PARCEL NO.: 056-091-002-0
EXISTING PARCEL AREA = 4,428 SF (0.10 ACRES)

GENERAL PLAN: MDR - MEDIUM DENSITY RESIDENTIAL
ZONING: DMU - DOWNTOWN MIXED USE

EXISTING LAND USE: VACANT
PROPOSED LAND USE: MULTI-FAMILY RESIDENTIAL
PROPOSED DENSITY: 39.4 UNITS/ACRE
PROPOSED LOT COVERAGE: 42%

WATER SOURCE: CITY OF HOLLISTER
SEWER: CITY OF HOLLISTER
GAS AND ELECTRIC: PACIFIC GAS & ELECTRIC
TELEPHONE: ATT

THIS PROJECT IS NOT WITHIN THE FLOOD PLANE ACCORDING TO THE
FLOOD INSURANCE MAPS DATED APRIL 16, 2009.

THIS PROPERTY IN NOT WITHIN ANY SEISMIC SPECIAL STUDY ZONE.

PROJECT DESCRIPTION:
THE OWNER PROPOSES TO CONSTRUCT A DUPLEX (LOWER UNIT AT 965 SQ. FT./ UPPER UNIT AT 977 SQ. FT.) WITH TWO DETACHED ACCESSORY DWELLING UNITS (444 SQ. FT. EACH) AND FOUR (4) PARKING SPACES ON A 4,428 SQUARE-FOOT PARCEL LOCATED WITHIN THE DOWNTOWN MIXED-USE (DMU) ZONING DISTRICT.

BENCHMARK: THE ELEVATIONS FOR THIS PROJECT ARE BASED ON THE VERTICAL CONTROL NETWORK SURVEY FOR THE CITY OF HOLLISTER, BM C-1055, ELEVATION = 291.40.
3" BRASS DISK, STAMPED "1967 HOLLISTER USC&G", SET AT THE BASE OF A FLAGPOLE, LOCATED AT THE NORTHWEST CORNER OF MONTEREY STREET AND FIFTH STREET.

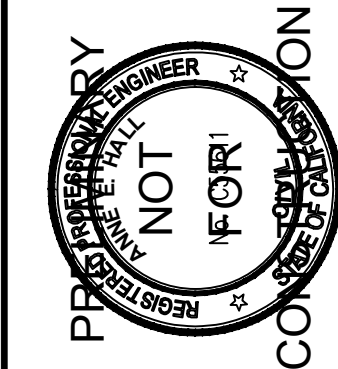
LEGEND

- EXISTING CONTOUR
- DESIGN CONTOUR
- BOUNDARY
- EDGE OF PAVEMENT
- EXISTING FENCE
- EXISTING STORM DRAIN - SIZE AS INDICATED
- EXISTING SANITARY SEWER - SIZE AS INDICATED
- EXISTING WATER LINE - SIZE AS INDICATED
- EXISTING OVERHEAD LINES
- PROPOSED FENCE
- WATER SERVICE
- STORM DRAIN - SIZE AS INDICATED
- SANITARY SEWER SERVICE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- SANITARY SEWER BACKFLOW PREVENTION DEVICE
- STORM DRAIN MANHOLE
- PERFORATED PIPE
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- DIRECTION OF FLOW OF SURFACE DRAINAGE
- ELECTROLIER - TO CITY STANDARDS
- ASPHALT CONCRETE
- AGGREGATE BASE
- BACK OF WALK
- CITY OF HOLLISTER
- DOUBLE DETECTOR CHECK VALVE
- STORM DRAIN DROP INLET
- ROOF DOWNSPOUT
- EXISTING
- EDGE OF PAVEMENT
- FINISH FLOOR
- FIRE HYDRANT
- FACE OF CURB
- FACE OF WALK
- INVERT
- LEFT
- LINEAR FEET
- LIP OF GUTTER
- PROPOSED
- PORTLAND CEMENT CONCRETE
- RIGHT
- REDUCE PRESSURE PRINCIPLE BACKFLOW PREVENTER
- STORM DRAIN MANHOLE
- CENTERLINE STATION
- TO BE REMOVED
- TOP OF CURB

TABLE OF CONTENTS

SHEET	DESCRIPTION
Sheet 1 - C-1	COVER SHEET
Sheet 2 - C-2	SITE PLAN
Sheet 3 - A-1	EXTERIOR ELEVATIONS
Sheet 3 - A-2	EXTERIOR COLOR ELEVATIONS
Sheet 4 - A-3	ARCHITECTURAL FLOOR PLANS
Sheet 5 - C-3	GRADING & DRAINAGE PLAN
Sheet 6 - F-1	DETAILS - FIRE DEPARTMENT COMMENTS
Sheet 6 - C-4	DETAILS - FENCE AND PHOTOMETRICS
Sheet 7 - L-1	LANDSCAPE PLAN
Sheet 7 - L-2	IRRIGATION PLAN

SAN BENITO ENGINEERING
& SURVEYING, INC.



NO.	REVISIONS	DATE

CITY OF HOLLISTER

221 HAWKINS STREET

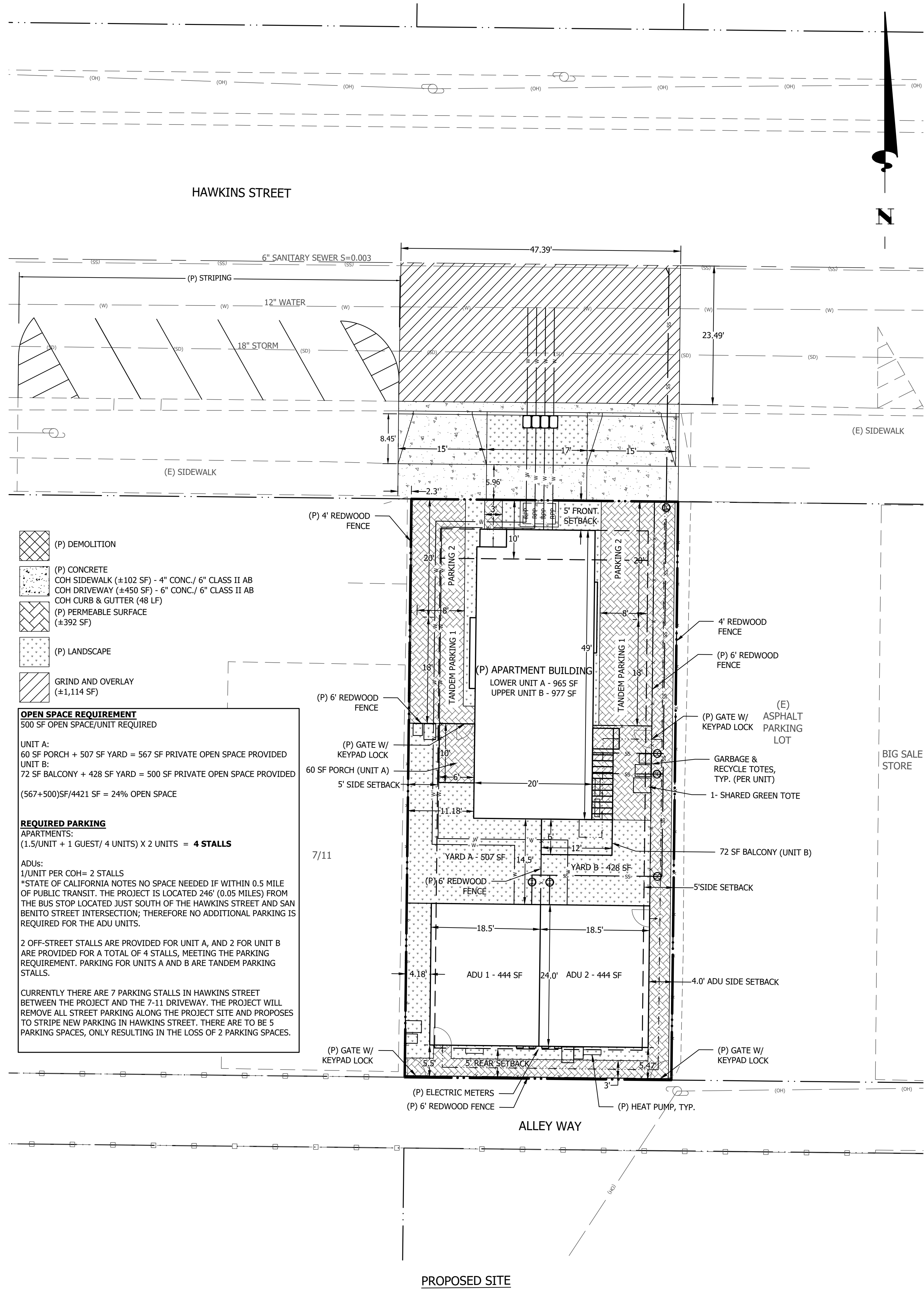
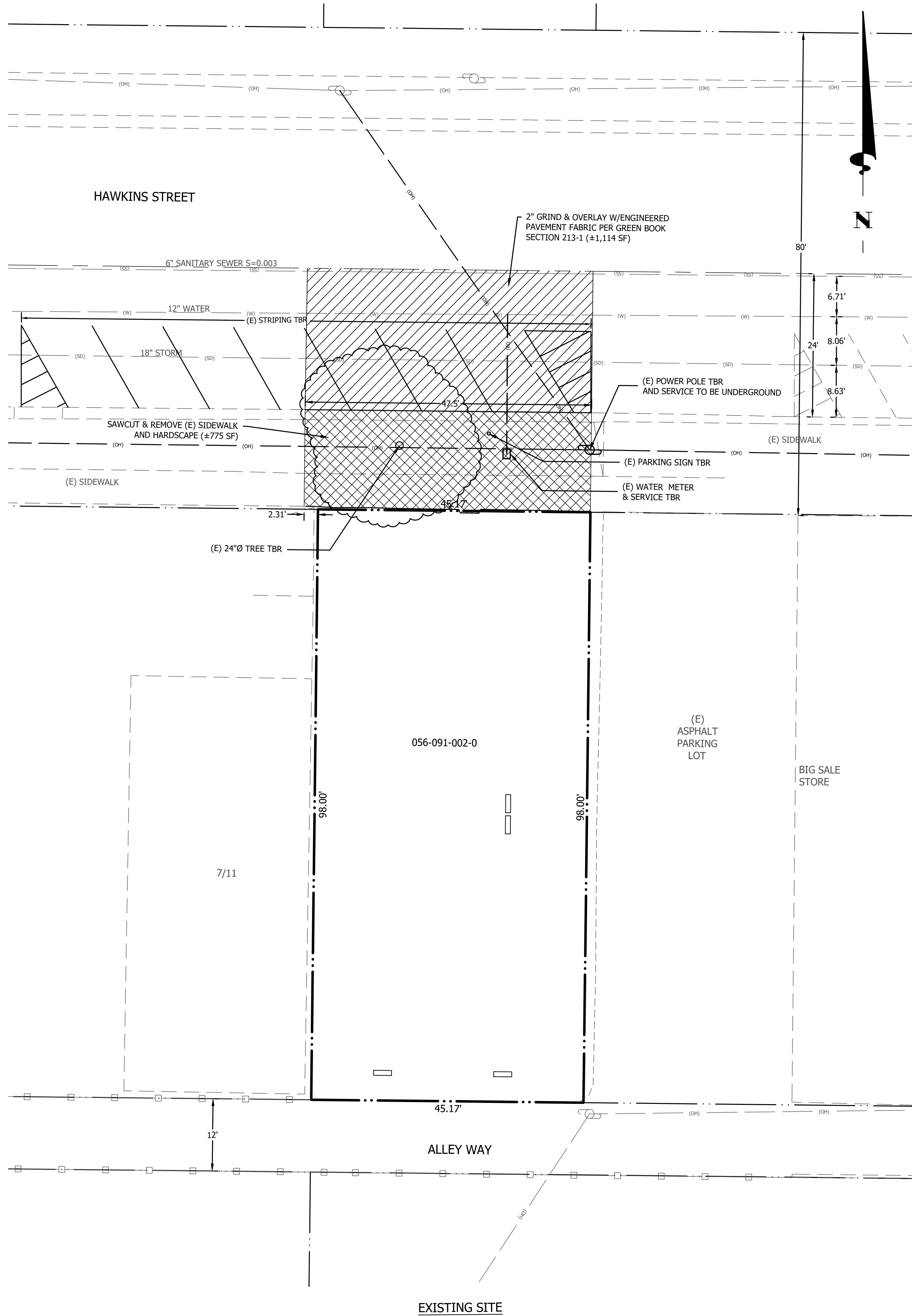
SAN BENITO COUNTY, CALIFORNIA

SITE & ARCHITECTURAL

SCALE: AS NOTED
DATE: 16 January 2024
JOB #: 118022
DWG: 118022SA2.dwg

SHEET: C-1
OF 10 SHEETS

* FILE NAME: X:\AutoCAD Projects\2018\118022\dwg\118022SA2.dwg * Plotted on: Thursday, 07 December 2023 at 2:55pm by: AHALL *



SAN BENITO ENGINEERING & SURVEYING, INC.

502 Monterey Street
Hollister, California 95023
(831) 637-2763 fax (831) 854-9581 email: info@sanbentoeng.com

PROFESSIONAL ENGINEER
NOT FOR CONSTRUCTION

DATE

REVISIONS

NO.

CITY OF HOLLISTER

221 HAWKINS STREET

SAN BENITO COUNTY, CALIFORNIA

SITE & ARCHITECTURAL

SITE PLAN

SCALE: 1" = 10'

DATE: 07 December 2023

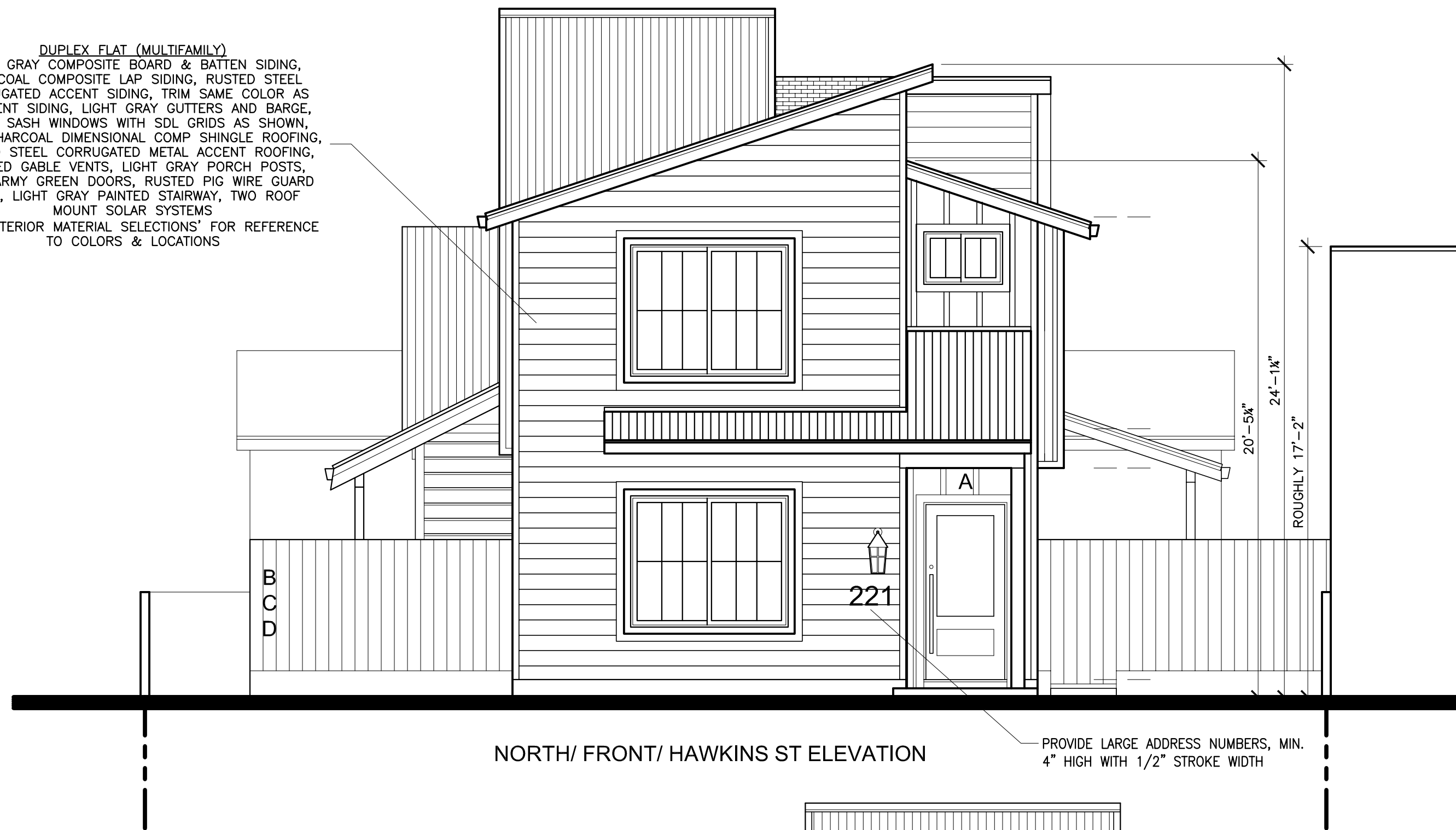
JOB #: 118022

DWG: 118022SA2.dwg

SHEET: C-2

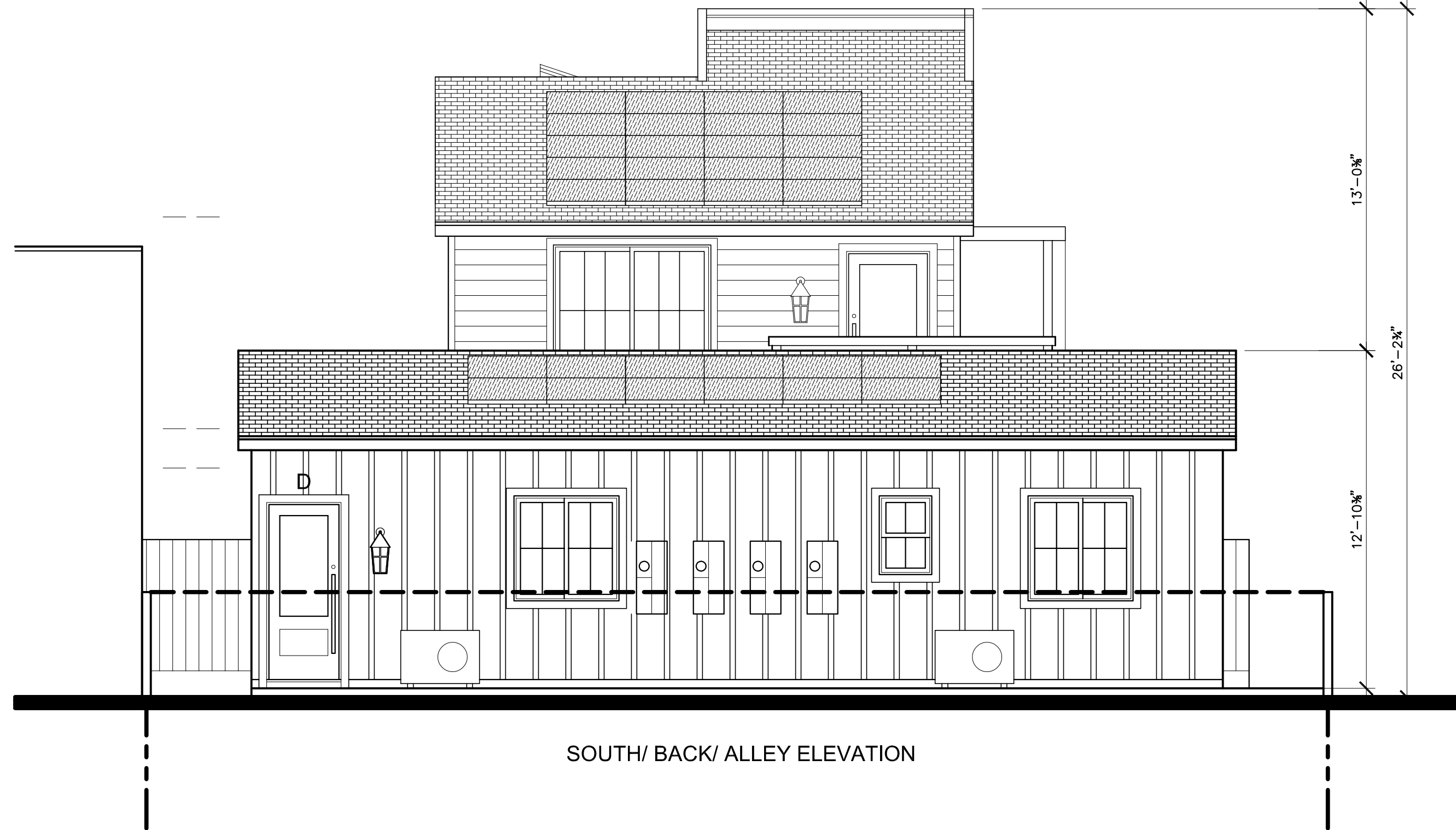
OF 10 SHEETS

DUPLEX FLAT (MULTIFAMILY)
DARK GRAY COMPOSITE BOARD & BATTEN SIDING,
CHARCOAL COMPOSITE LAP SIDING, RUSTED STEEL
CORRUGATED ACCENT SIDING, TRIM SAME COLOR AS
ADJACENT SIDING, LIGHT GRAY GUTTERS AND BARGE,
BLACK SASH WINDOWS WITH SDL GRIDS AS SHOWN,
DARK CHARCOAL DIMENSIONAL COMP SHINGLE ROOFING,
RUSTED STEEL CORRUGATED METAL ACCENT ROOFING,
PAINTED GABLE VENTS, LIGHT GRAY PORCH POSTS,
DARK ARMY GREEN DOORS, RUSTED PIG WIRE GUARD
RAILS, LIGHT GRAY PAINTED STAIRWAY, TWO ROOF
MOUNT SOLAR SYSTEMS
SEE 'EXTERIOR MATERIAL SELECTIONS' FOR REFERENCE
TO COLORS & LOCATIONS

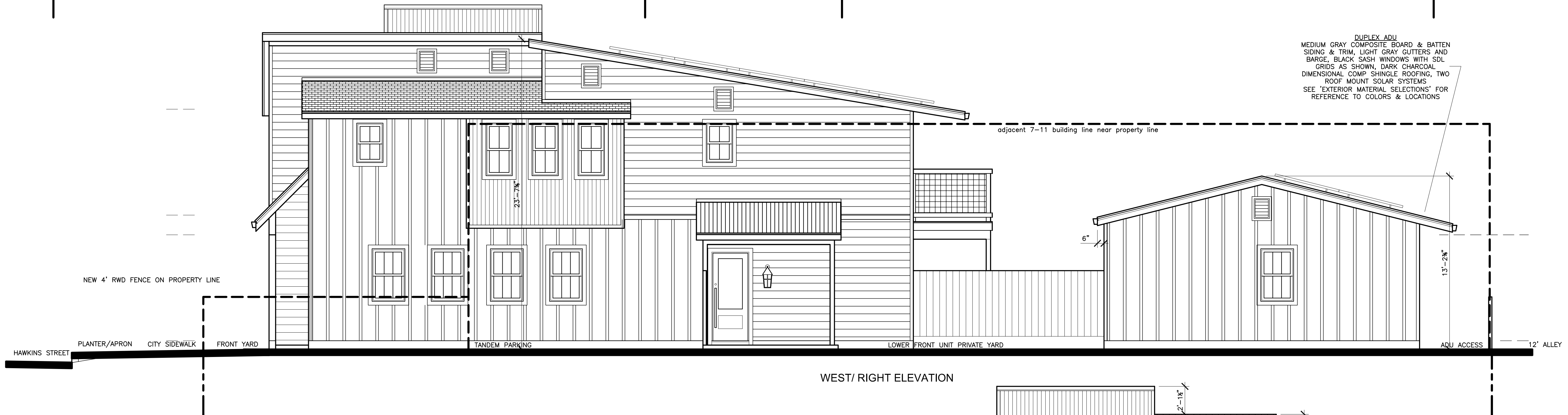


NORTH/ FRONT/ HAWKINS ST ELEVATION

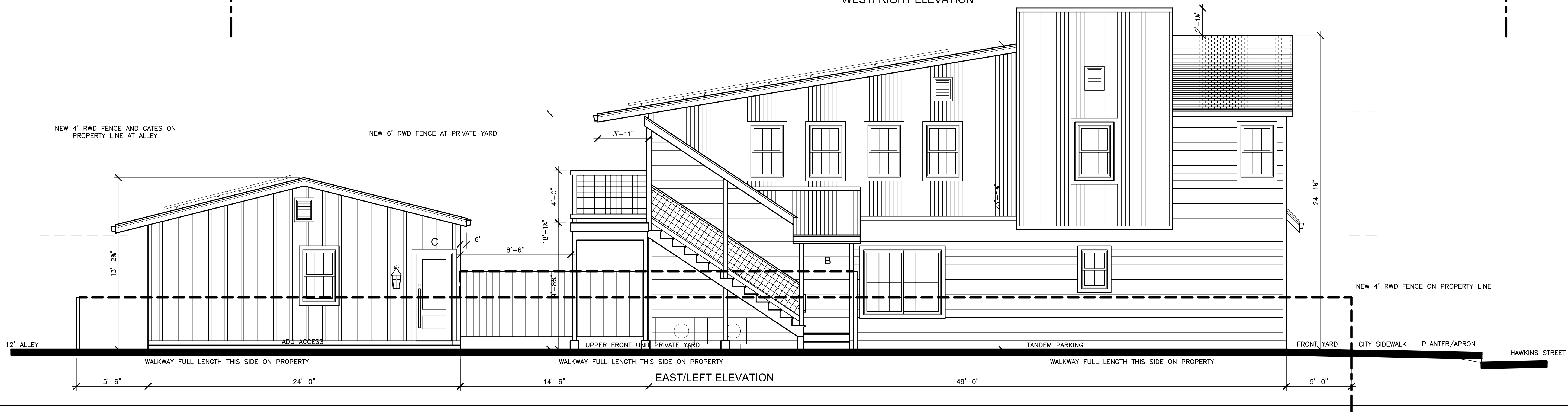
PROVIDE LARGE ADDRESS NUMBERS, MIN.
4" HIGH WITH 1/2" STROKE WIDTH



SOUTH/ BACK/ ALLEY ELEVATION



WEST/ RIGHT ELEVATION

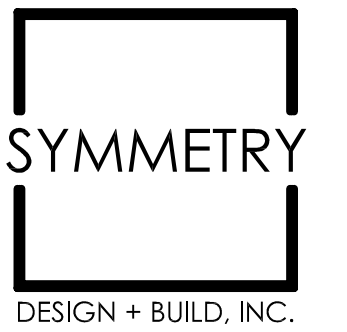


EAST/ LEFT ELEVATION

PROJECT AT:
221 Hawkins St,
Hollister, CA.

NEW
CONSTRUCTION
APARTMENTS

FOR:
ALAN BROOKSHIRE



330 TRES PINOS ROAD SUITE F8-7
HOLLISTER, CA. 95023
831.750.5252
www.symmetrydb.com

© 2023

THIS DESIGN IS THE SOLE PROPERTY OF
'SYMMETRY DESIGN & BUILD, INC.'

ANY PORTION OF THESE PLANS SHALL
NOT BE REPRODUCED OR RE-USED
WITHOUT CONSENT OF THE OWNER OF
'SYMMETRY DESIGN & BUILD, INC.'

CONSULTANT:

CONSULTANT:

DRAWN BY: J.M.G.

CHECKED BY: J.M.G.

A.P.N.: 056-091-002

OWNER APPROVAL:

ARCHITECT APPROVAL:

ISSUE DESCRIPTION	DATE
A PRELIM SET	07.24.23

SCALE: 1"=1 1/4"
PROJECT #: 23-52

EXTERIOR
ELEVATIONS

A-1

DUPLEX FLAT (MULTIFAMILY)
DARK GRAY COMPOSITE BOARD & BATTEN SIDING, CHARCOAL COMPOSITE LAP SIDING, RUSTED STEEL CORRUGATED ACCENT SIDING, TRIM SAME COLOR AS ADJACENT SIDING, LIGHT GRAY GUTTERS AND BARGE, BLACK SASH WINDOWS WITH SCL GRIDS AS SHOWN, DARK CHARCOAL DIMENSIONAL COMP SHINGLE ROOFING, RUSTED STEEL CORRUGATED METAL ACCENT ROOFING, PAINTED GABLE VENTS, LIGHT GRAY PORCH POSTS, DARK ARMY GREEN DOORS, RUSTED PIG WIRE GUARD RAILS, LIGHT GRAY PAINTED STAIRWAY, TWO ROOF MOUNT SOLAR SYSTEMS
SEE "EXTERIOR MATERIAL SELECTIONS" FOR REFERENCE TO COLORS & LOCATIONS

PROJECT AT:
221 Hawkins St,
Hollister, CA.

NEW
CONSTRUCTION
APARTMENTS

FOR:
ALAN BROOKSHIRE



330 TRES PINOS ROAD SUITE F8-7
HOLLISTER, CA. 95023
831.790.5252
www.symmetrydb.com

© 2023

THIS DESIGN IS THE SOLE PROPERTY OF
"SYMMETRY DESIGN & BUILD, INC."

ANY PORTION OF THESE PLANS SHALL
NOT BE REPRODUCED OR RE-USED
WITHOUT CONSENT OF THE OWNER OF
"SYMMETRY DESIGN & BUILD, INC."

CONSULTANT:

CONSULTANT:

DRAWN BY: J.M.G.

CHECKED BY: J.M.G.

A.P.N.: 056-091-002

OWNER APPROVAL:

ARCHITECT APPROVAL:

ISSUE DESCRIPTION	DATE
PRELIM SET	07.24.23

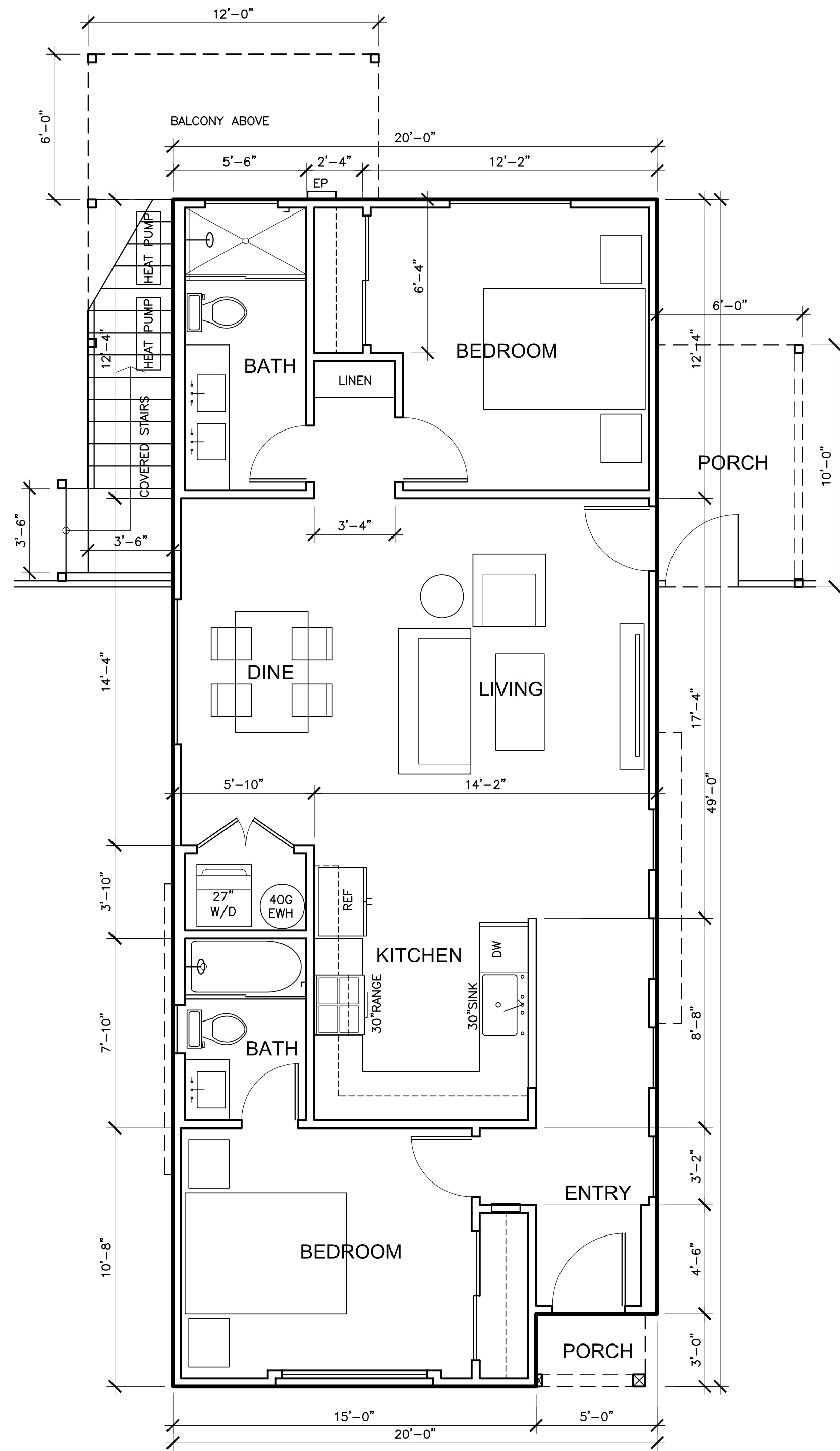
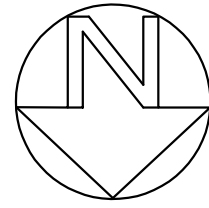
SCALE: 1"=1/4"

PROJECT #: 23-52

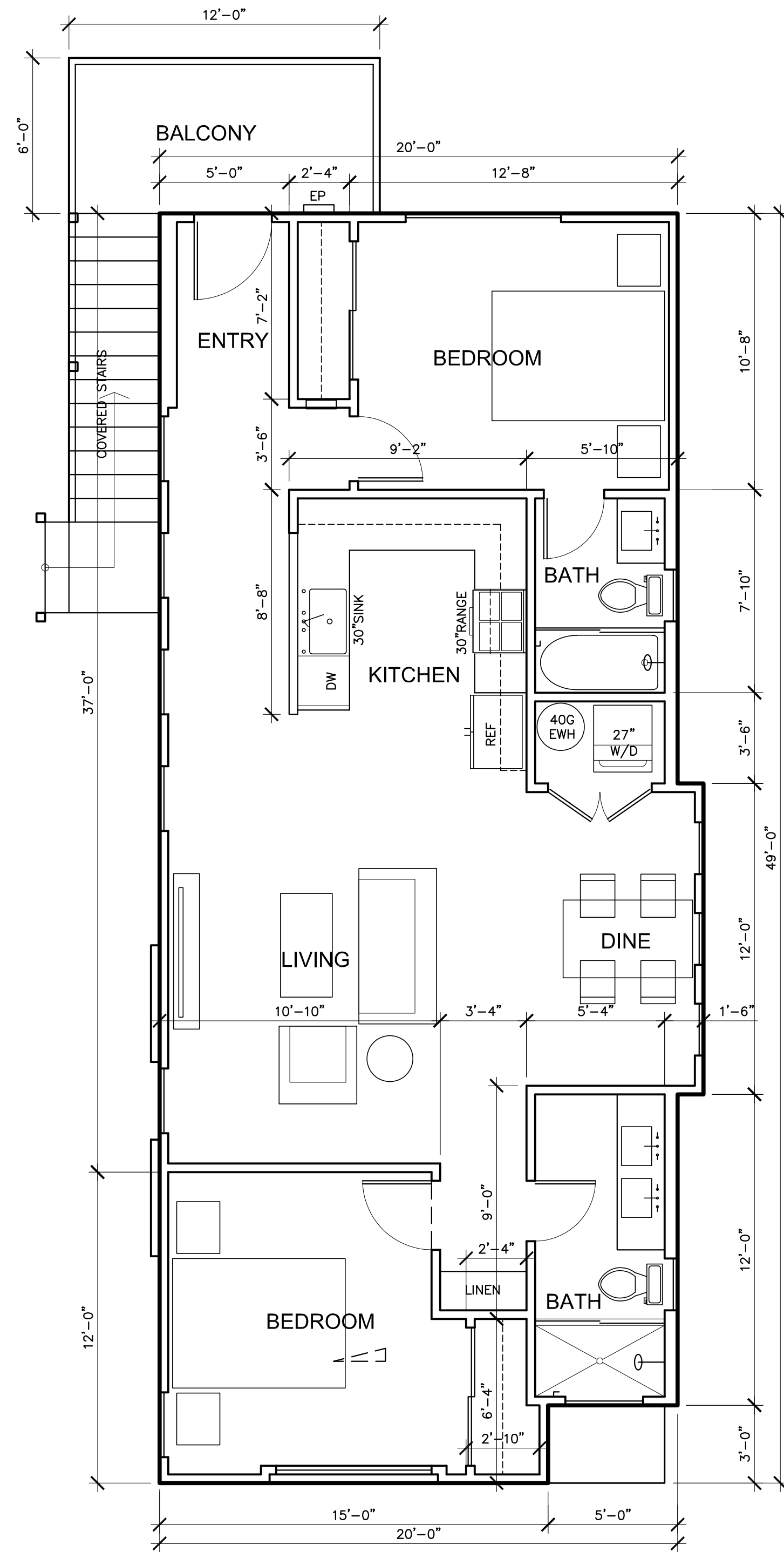
EXTERIOR
ELEVATIONS

A-2

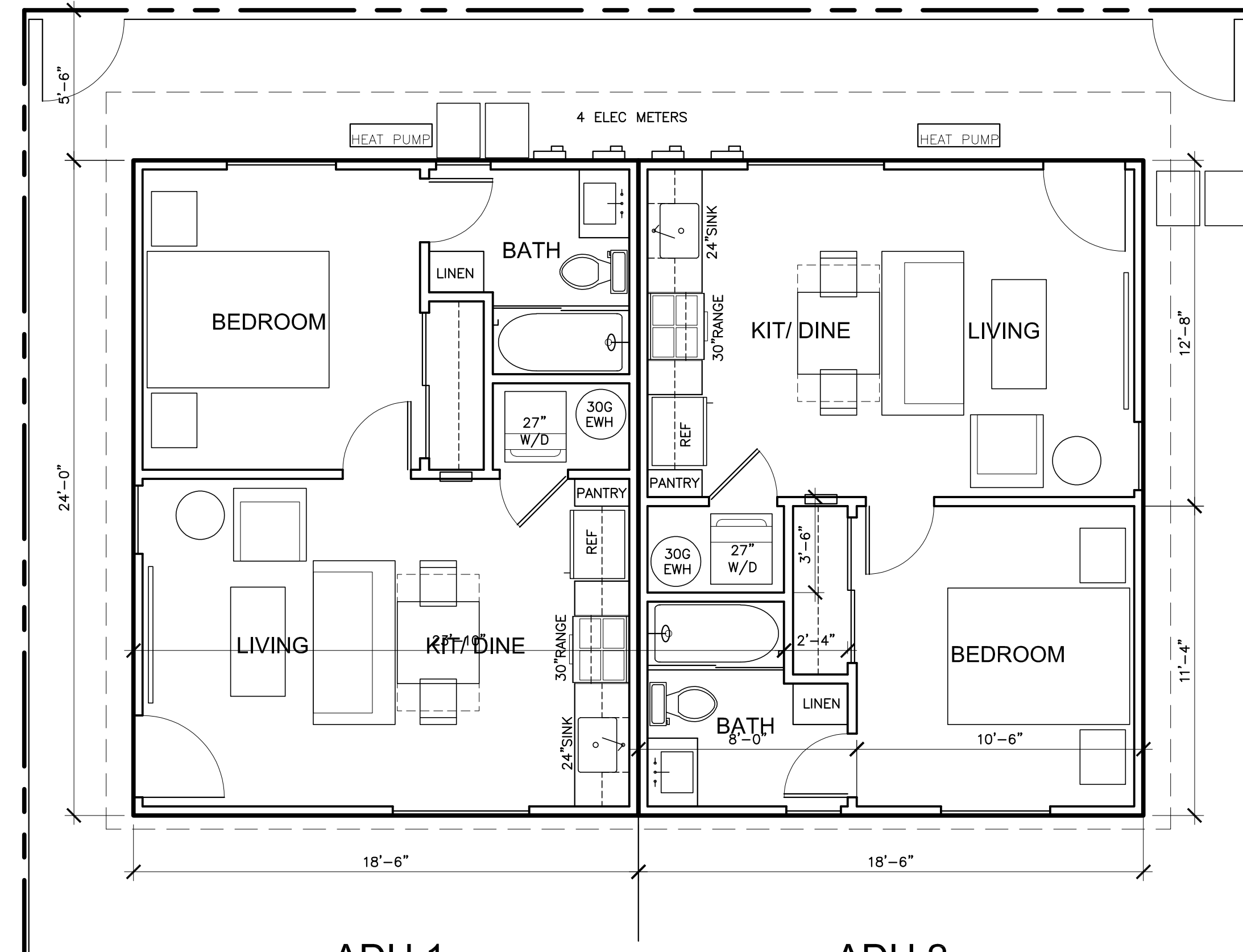




LOWER UNIT A
965 SF
2 BED / 2 BATH



UPPER UNIT B
977 SF
2 BED / 2 BATH



ADU 1
444 SF
1 BED / 1 BATH

ADU 2
444 SF
1 BED / 1 BATH

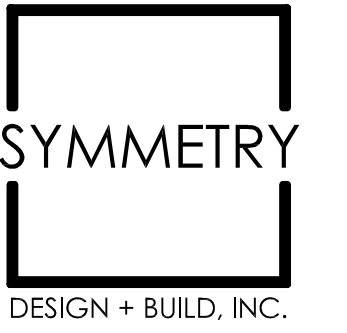
DATA				
	UNIT A	UNIT B	ADU 1	ADU 2
DWELLING	965 SF	977 SF	444 SF	444 SF
PORCHES	74 SF	0 SF	0 SF	0 SF
BALCONY	0 SF	72 SF	0 SF	0 SF
TOTAL	1039 SF	1049 SF	444 SF	444 SF

*SEE PLANS BY SAN BENITO ENGINEERING FOR COVER SHEET, SITE PLAN, GRADING & DRAINAGE PLAN, & LANDSCAPE PLAN

PROJECT AT:
221 Hawkins St,
Hollister, CA.

NEW
CONSTRUCTION
APARTMENTS

FOR:
ALAN BROOKSHIRE



330 TRES PINOS ROAD SUITE F8-7
HOLLISTER, CA. 95023
831.750.5252
www.symmetrydb.com

© 2023
THIS DESIGN IS THE SOLE PROPERTY OF
'SYMMETRY DESIGN & BUILD, INC.'
ANY PORTION OF THESE PLANS SHALL
NOT BE REPRODUCED OR RE-USED
WITHOUT CONSENT OF THE OWNER OF
'SYMMETRY DESIGN & BUILD, INC.'

CONSULTANT:

CONSULTANT:

DRAWN BY: J.M.G.

CHECKED BY: J.M.G.

A.P.N.: 056-091-002

OWNER APPROVAL:

ARCHITECT APPROVAL:

ISSUE DESCRIPTION	DATE
A PRELIM SET	07.24.23

SCALE: 1"=1/4"
PROJECT #: 23-52

ARCHITECTURAL
FLOOR PLANS



Fire Station 1 – Headquarters – 110 Fifth Street • Hollister, CA 95023- Phone (831)636-4325

CITY OF HOLLISTER
FIRE PREVENTION BUREAU
PROJECT COMMENTS

Date: September 15, 2023
Subject:
Address: 221 Hawkins

IMPORTANT NOTICE: ALL FIRE PLANS NEED TO BE SUBMITTED DIRECTLY TO HOLLISTER FIRE DEPARTMENT FOR REVIEW AND PERMITTING. FEES WILL BE ASSESSED AFTER COMPLETE FIRE APPROVAL. FOR QUESTIONS REGARDING PLAN REVIEW, CONTACT THE FIRE DEPARTMENT DIRECTLY. CALL 831-636-4325 or email questions to hfcp@prevention@hollister.ca.gov

ITEMS TO BE ADDRESSED FOR PLANNING/DESIGN APPROVAL

- Design approved from fire
- P105.4 Fire hydrants and valves. A fire hydrant or fire valve is required. The hydrant or fire valve shall be 18 inches above grade, 8 feet from flammable vegetation, no closer than 4 feet nor further than 12 feet from a roadway, and in a location where fire apparatus using it will not block the roadway. The hydrant serving any building shall be not less than 50 feet and by road from the building it is to serve. More restrictive hydrant requirements may be applied by the Reviewing Authority. Each hydrant/valve shall be identified with a reflectorized blue marker, with minimum dimensions of 3 inches, located on the driveway address sign, non-combustible post or fire hydrant riser. UPDATE THE FIRE HYDRANT AT 7-11. INSTEAD OF INSTALLING ONE AT PROPERTY.
- Fire Protection plans are a deferred submittal and can be submitted to fire after the building permit is issued.

FIRE REQUIREMENTS FOR CONSTRUCTION

- IA 102.1 Construction and design provisions. The construction and design provisions of the fire code shall apply as follows:
 - Structures, facilities and conditions arising after the adoption of this code.
 - Existing structures, facilities and conditions not legally in existence at the time of adoption of this code.
 - Existing structures, facilities and conditions when identified in specific sections of this code.
 - Existing structures, facilities and conditions, which, in the opinion of the Fire Code Official, constitutes a distinct hazard to life and property.
 - Existing Structures, alterations and repairs:
 - All new work performed in alterations and/or repairs to existing structures shall comply with the current provisions of this Chapter.
 - When alterations and/or repairs result in the removal, alteration, modification, replacement and/or repair of fifty percent or more of the external walls of a building, or result in the removal, alteration, modification, replacement and/or repair of fifty percent or more of the existing internal structural and/or non-structural framework, independently or in combinations

Fire Station 2 2240 Valley View Rd
Hollister, CA 95023
(831) 636-4141

Fire Station 3 2000 Aerostar Way
Hollister, CA 95023
(831) 636-4326

Fire Station 4 24 Polk St.
San Juan Bautista, CA 95045
(831) 636-4327

- Maintain around and adjacent to any such building or structure additional fire protection or firebreak made by removing all bush, flammable vegetation, or combustible growth which is located from 30 feet to 100 feet from such building or structure or to the property line, whichever is nearer, as may be required by the enforcing agency if he finds that, because of extra hazardous conditions, a firebreak of only 30 feet around such building or structure is not sufficient to provide reasonable fire safety. Grass and other vegetation located more than 30 feet from such building or structure and less than 18 inches in height above the ground may be maintained where necessary to stabilize the soil and prevent erosion.

- 503.1.1 Buildings and facilities. Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet (45 720 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.
- 505.1 Address identification. New and existing buildings shall be provided with approved address identification. The address identification shall be legible and placed in a position that is visible from the street or road fronting the property. Address identification characters shall contrast with their background. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall not be spelled out. Each character shall be not less than 4 inches (102 mm) high with a minimum stroke width of 1/2 inch (12.7 mm). Where required by the fire code official, address identification shall be provided in additional approved locations to facilitate emergency response. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address identification shall be maintained.
- 507.3 Fire flow. Fire-flow requirements for buildings or portions of buildings and facilities shall be determined by an approved method or Appendix B.
- 507.5.1 Required. Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.
- 507.5.5 Clear Space Around Hydrants. A 3-foot (914 mm) clear space shall be maintained around the circumference of fire hydrants, except as otherwise required or approved.
- 509.1.1 Utility Identification. Where required by the fire code official, gas shutoff valves, electric meters, service switches and other utility equipment shall be clearly and legibly marked to identify the unit or space that it serves. Identification shall be made in an approved manner, readily visible and shall be maintained.
- 901.5.1 Occupancy. It shall be unlawful to occupy any portion of a building or structure until the required fire detection, alarm and suppression systems have been tested and approved.
- 903.2 Approved automatic sprinkler systems shall be provided in all new buildings and structures constructed, moved into or relocated within the jurisdiction.

thereof, within a five-year period, the entire building shall be made to conform to the current provisions of this Chapter.

- Calculations of linear wall measurements shall be shown on all plans submitted for building permits, on the cover page in the project description of said plans.
- The determination under this section of the requirements for upgrading any existing structure to full conformance with current provisions of this Chapter shall be at the sole discretion of the Fire Code Official.

- IA 105.3.3 Occupancy prohibited before approval. The building or structure shall not be occupied prior to the fire code official issuing a permit and conducting associated inspections indicating the applicable provisions of this code have been met.
- IA 105.4.1 Construction Document Submittals. Construction documents and supporting data shall be submitted in two or more sets with each application for a permit and in such form and detail as required by the Fire Code Official. The construction documents shall be prepared by a registered design professional where required by the statutes of the jurisdiction in which the project is to be constructed.
- IA 105.4.2 Information on construction documents. Construction documents shall be drawn to scale on suitable material. Electronic media documents are allowed to be submitted where approved by the Fire Code Official. Construction documents shall be of sufficient clarity to indicate the location, nature and extent of the work proposed and show in detail that it will conform to the provisions of this code and relevant laws, ordinances rules and regulations as determined by the Fire Code Official.
- IA 105.4.2.1 Fire Protection system shop drawings. Shop drawings for the fire protection system(s) shall be submitted to indicate compliance with this code and the construction documents, and shall be approved prior to the start of installation. Shop drawings shall contain all information as required by the referenced installation standards found in Chapter 9 of this Code.
- 304.1.2 Vegetation. Weeds, grass, vines or other growth that is capable of being ignited and endangering property, shall be cut down and removed by the owner or occupant of the premises. Vegetation clearance requirements in urban-wildland interface areas shall be in accordance with Chapter 49.
- California Code of Regulations, Title 19, Division 1, 53.07(b) Clearances. (b) Ground Clearance. The space surrounding every building or structure shall be maintained in accordance with the following:
 - Maintain around and adjacent to such building or structure a firebreak made by removing and clearing away, for a distance of not less than 30 feet on each side thereof or to the property line, whichever is nearer, all flammable vegetation or other combustible growth. This section does not apply to single specimens of trees, ornamental shrubbery, or similar plants which are used as ground cover, if they do not form a means of rapidly transmitting fire from the native growth to any building or structure.

Any person that owns, leases, controls, operates, or maintains any building or structure in, upon, or adjoining any mountainous area or forest-covered lands, brush covered lands, or grass-covered lands, or any land which is covered with flammable material, shall at all times do all of the following:

- Maintain around and adjacent to such building or structure a firebreak made by removing and clearing away, for a distance of not less than 30 feet on each side thereof or to the property line, whichever is nearer, all flammable vegetation or other combustible growth. This section does not apply to single specimens of trees, ornamental shrubbery, or similar plants which are used as ground cover, if they do not form a means of rapidly transmitting fire from the native growth to any building or structure.

- Section 3315 Portable Fire Extinguishers. Structures under construction, alteration or demolition shall be provided with not less than one approved portable fire extinguisher in accordance with Section 906 and sized for not less than ordinary hazard as follows:

- At each stairway on all floor levels where combustible materials have accumulated.
- In every storage and construction shed.
- Additional portable fire extinguishers shall be provided where special hazards exist including, but not limited to, the storage and use of flammable and combustible liquids.

- P109.1 Standard defensible space requirements. Combustible vegetation shall be removed from within a minimum of 100 feet or to the property line from structures, whichever is closer.

-

- Schedule final fire life safety inspection pay associated fees at 831-636-4325

ADDITIONAL INFORMATION:

MAKE CONTACT WITH FIRE DEPARTMENT FOR ADDITIONAL COMMENTS, CONCERNS, PLAN SUBMISSIONS and INSPECTIONS fire at 831-636-4325

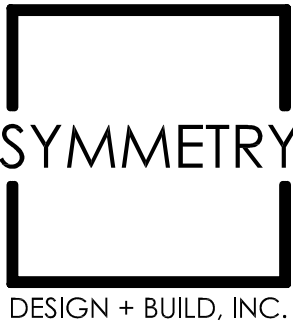
AS THE PROJECT MAY CHANGE OVER TIME AND THAT SOME CONDITIONS MAY BE REQUIRED IN ADDITION TO PRELIMINARY PLANS.

From: Carlos Bedolla
Fire Marshal

PROJECT AT:
221 Hawkins St,
Hollister, CA.

NEW
CONSTRUCTION
APARTMENTS

FOR:
ALAN BROOKSHIRE



330 TRES PINOS ROAD SUITE F8-7
HOLLISTER, CA. 95023
831.750.5252
www.symmetrydb.com

© 2023

THIS DESIGN IS THE SOLE PROPERTY OF
'SYMMETRY DESIGN & BUILD, INC.'

ANY PORTION OF THESE PLANS SHALL
NOT BE REPRODUCED OR RE-USED
WITHOUT CONSENT OF THE OWNER OF
'SYMMETRY DESIGN & BUILD, INC.'

CONSULTANT:

CONSULTANT:

DRAWN BY: J.M.G.

CHECKED BY: J.M.G.

A.P.N.: 056-091-002

OWNER APPROVAL:

ARCHITECT APPROVAL:

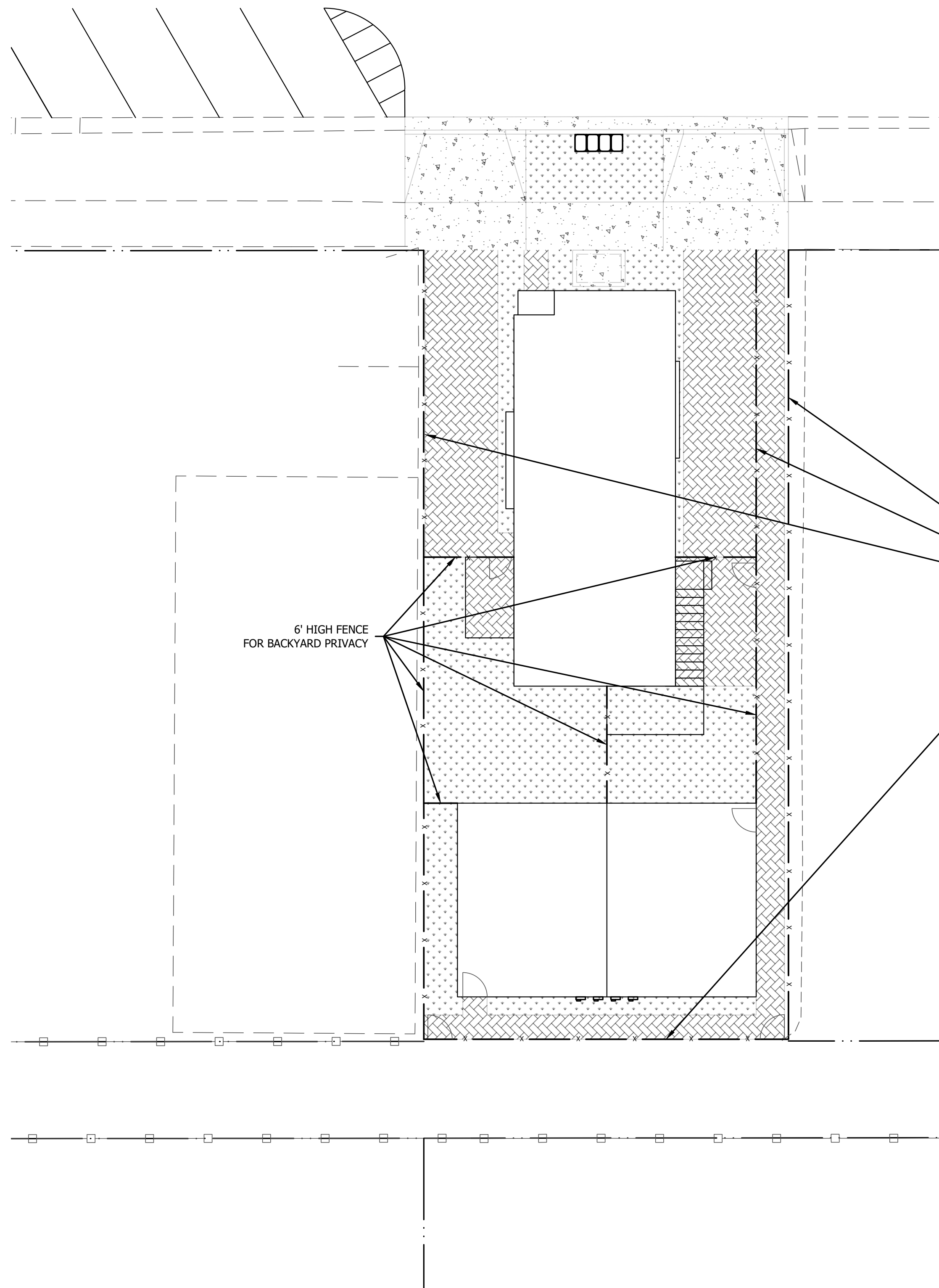
ISSUE	DESCRIPTION	DATE
A	PRELIM SET	10.23.23

SCALE: 1"=1/4"

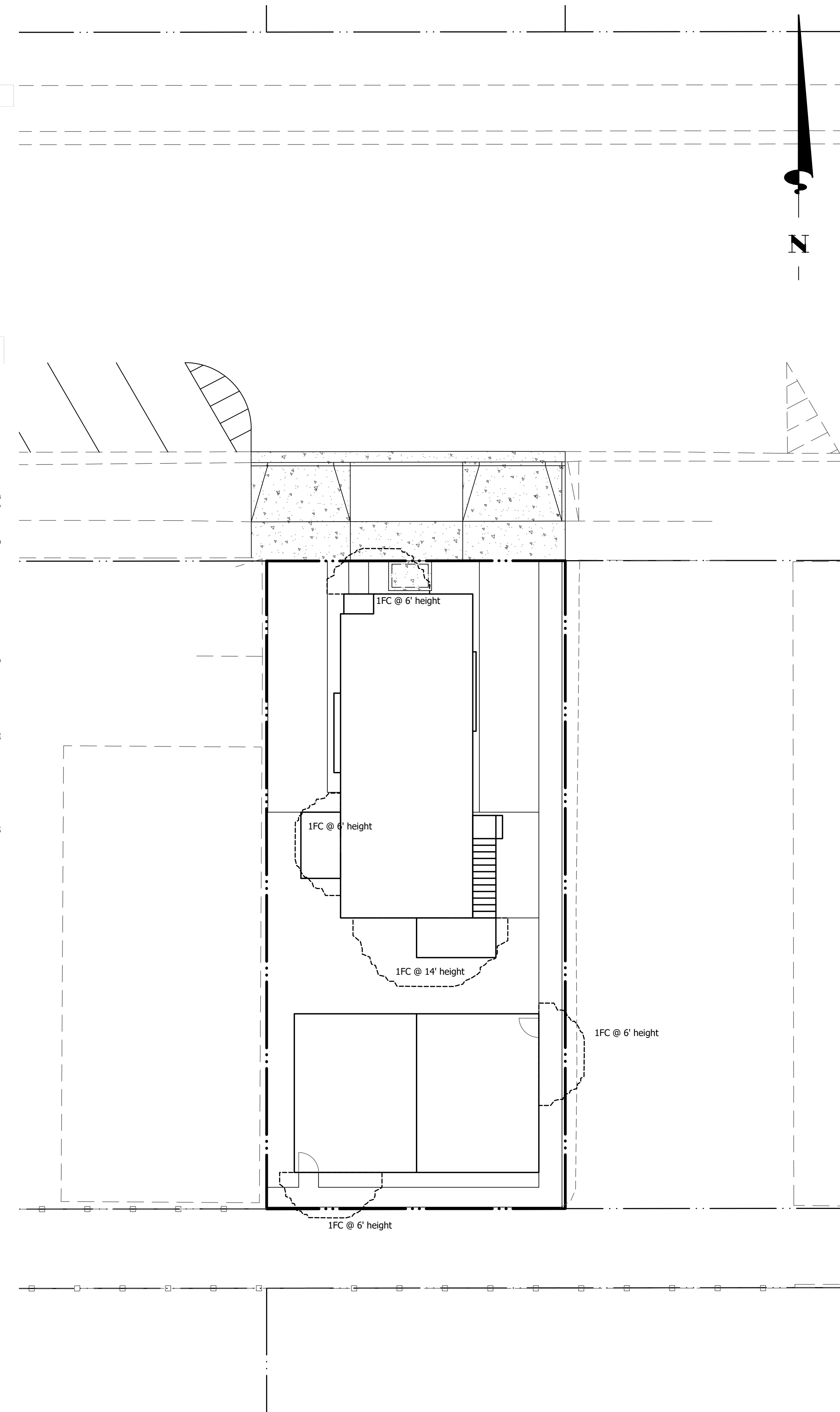
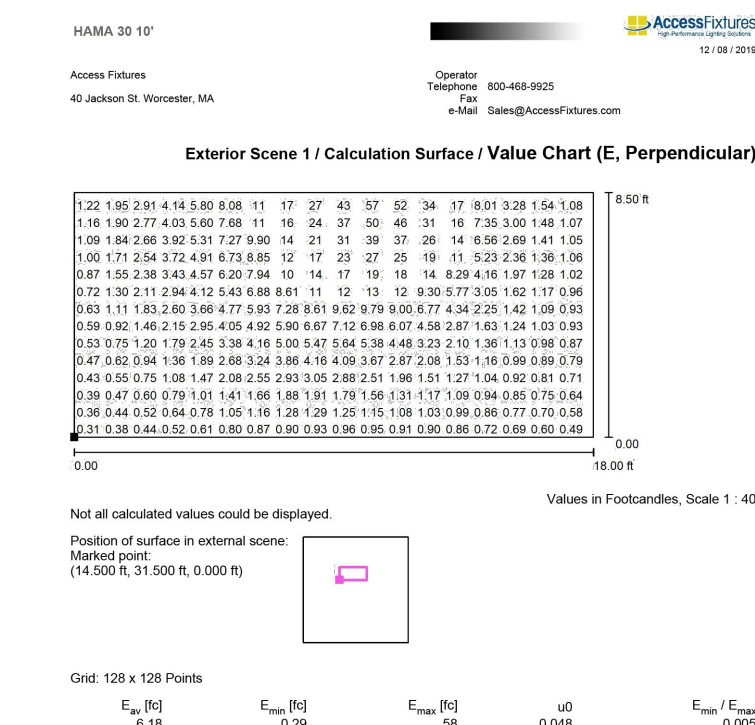
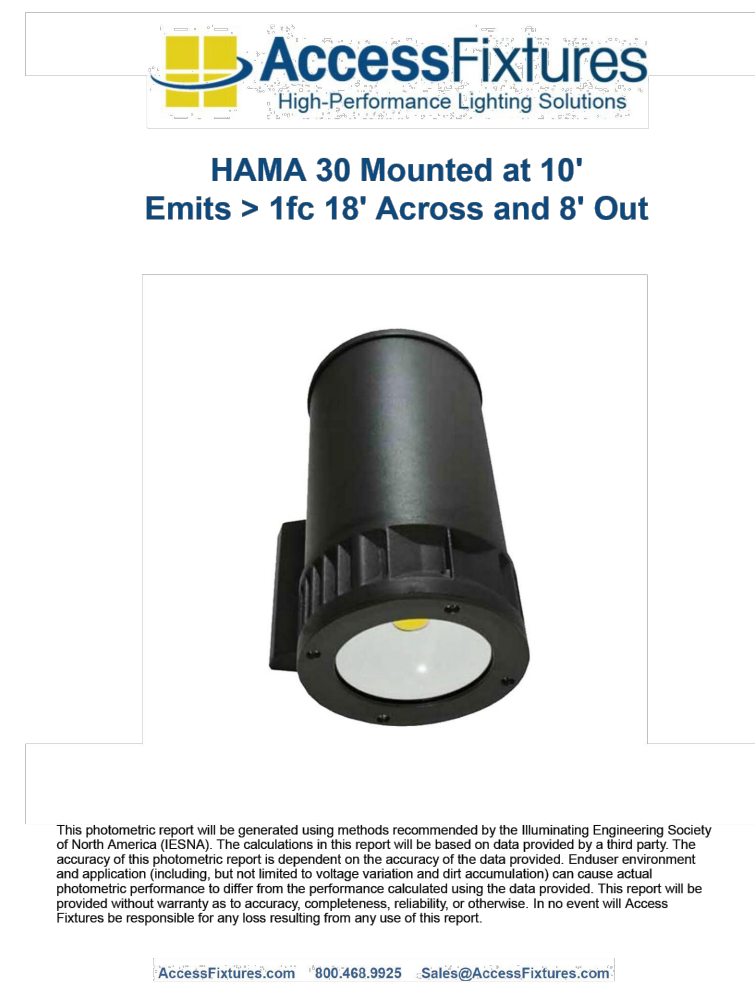
PROJECT #: 23-52

FIRE REGULATION

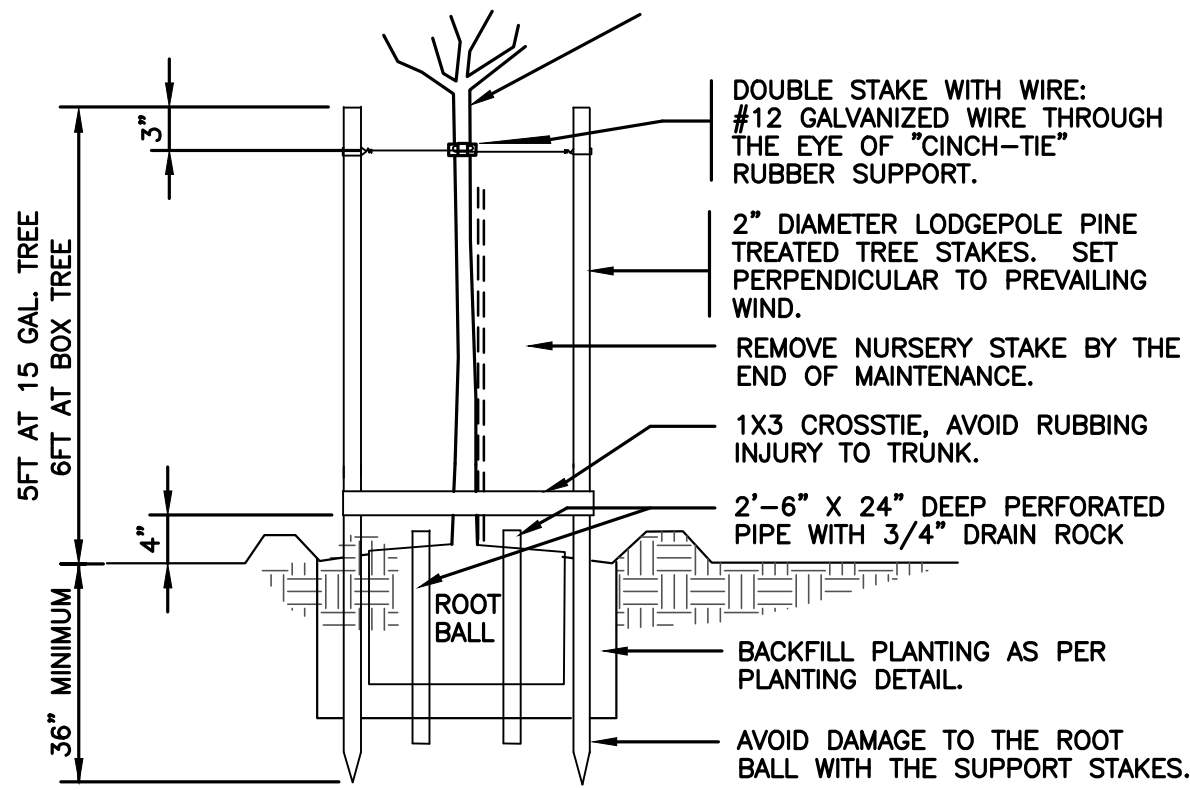
F-1



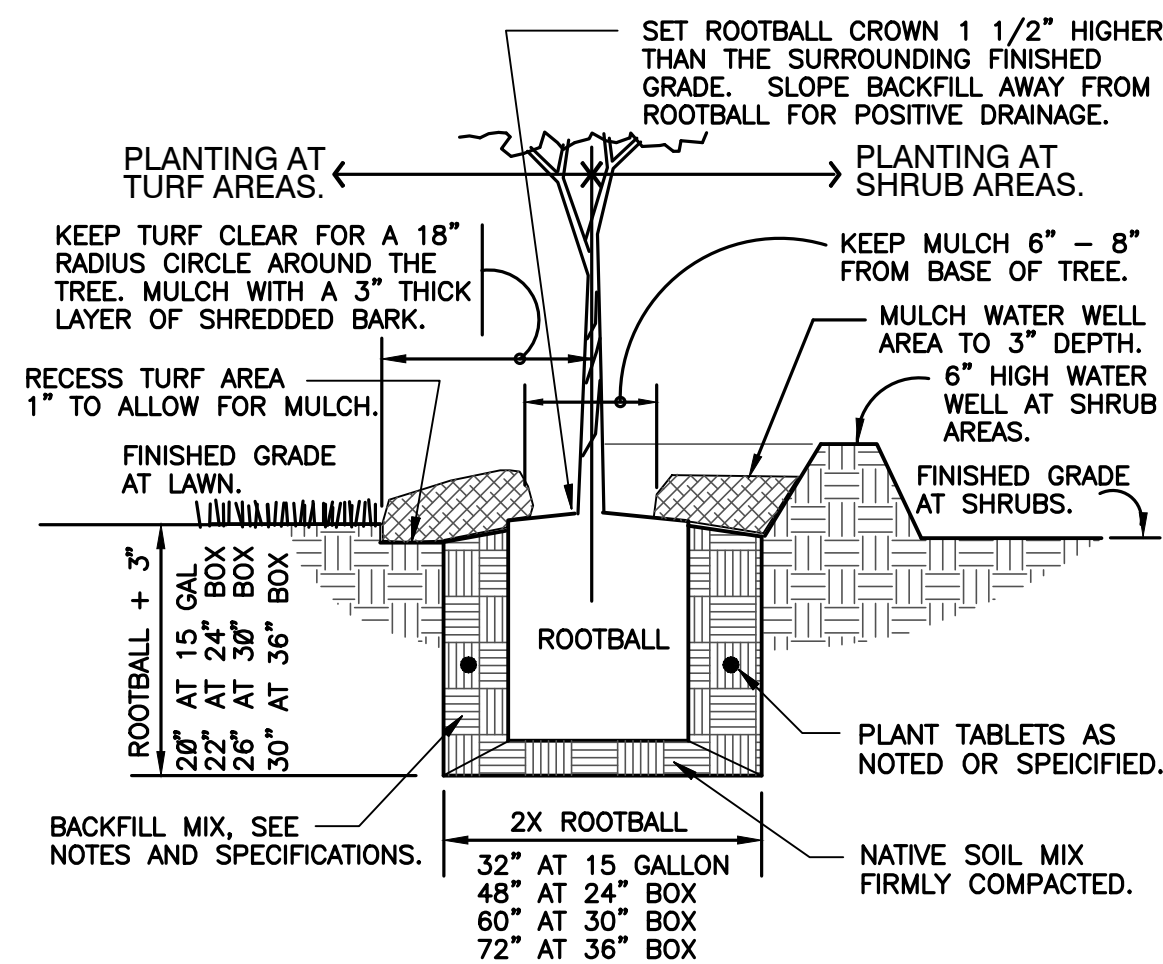
PROPOSED FENCES — x — x — x — SEE FENCE DETAILS SHEET L-2



PHOTOMETRICS



STAKING DETAIL



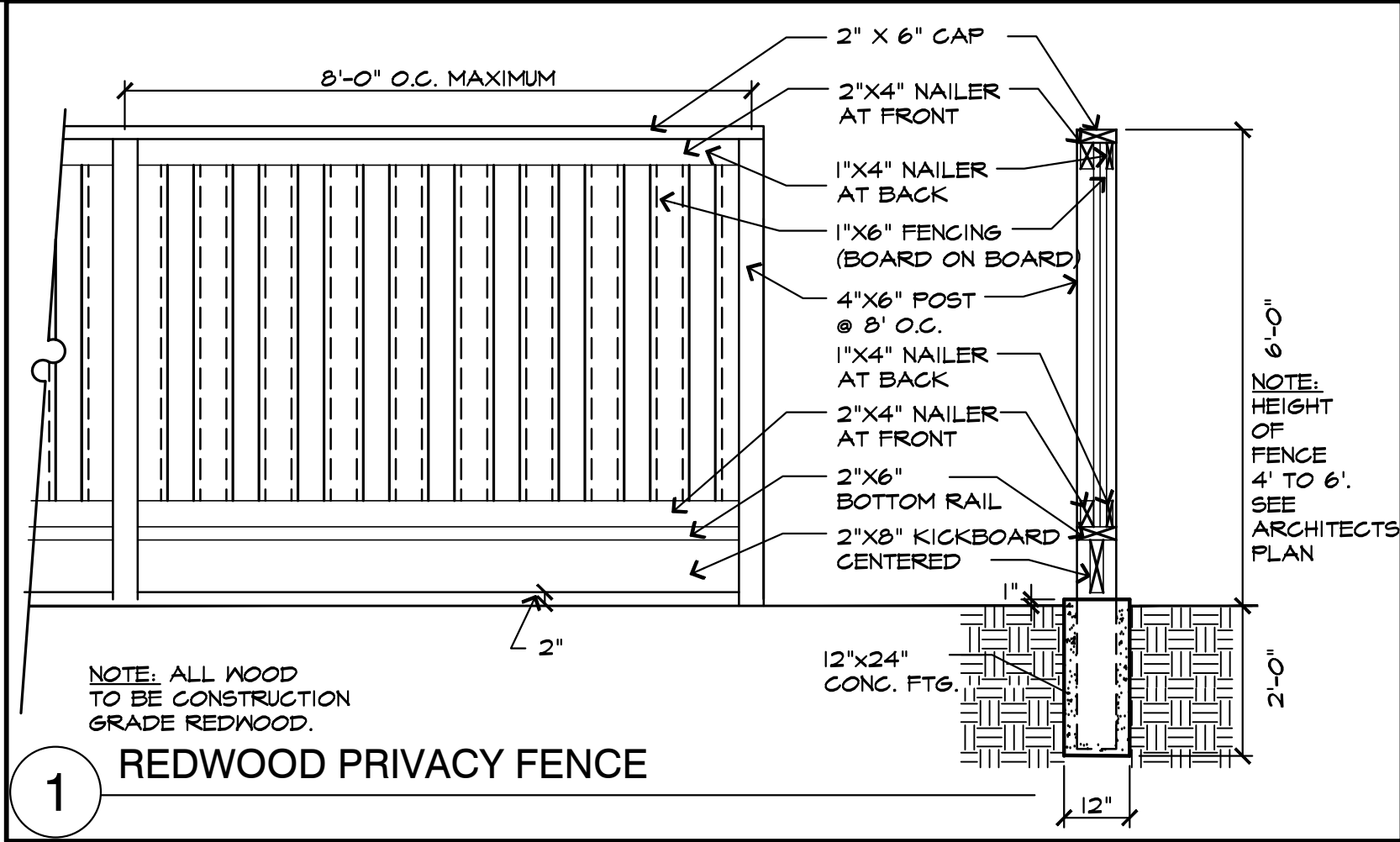
PLANT PIT DETAIL

NOTE: ALL TREE HOLES TO BE WATER TESTED.

TREE PLANTING DOUBLE STAKE

1" = 1'-0"

FX-PL-FX-TREE-10



TOTAL LANDSCAPE AREA 1135 S.F. OR 25.6%.

GENERAL NOTES

- For site dimensions and easements see architectural site plan.
- Site utilities are shown for informational purposes only. Refer to civil engineer's drawings for actual conditions.
- I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape plan.

LANDSCAPE NOTES

CAUTION: CONTRACTOR SHALL NOTE LOCATIONS OF EXISTING UNDERGROUND UTILITIES AND USE APPROPRIATE CAUTION WHEN PERFORMING WORK IN THOSE AREAS, INCLUDING EXCAVATION BY HAND TOOLS IF NECESSARY FOR SAFETY.

- Remove all debris, rocks over 1 inch size, and weeds from planting areas.
- Grade all planting areas to a smooth, uniform slope with positive drainage towards drain inlets or swales, 2% away from buildings. Finish grade shall be 3" below top of adjacent paving. Where mulch is used, lower grade to 4" within 1' of adjacent paving, to hold chips in place.
- Submit a soil sample to an independent soil testing laboratory (Perry Laboratory, 424 Airport Blvd, Watsonville Ca 95076, or equal) for analysis of soil's ability to maintain & support the ornamental landscaping. For bidding purposes, contractor shall quote the following amendments as unit prices, and adjust actual amounts to be used based on lab's recommendations for major and minor nutrients and soil amendments. Contract price to be adjusted accordingly. Organic soil amendment: 5 yards /1,000 sf. gypsum - agricultural grade, 2 tons per acre soil sulfur - agricultural grade, 1/2 ton per acre commercial fertilizer - 15-15-15, 500 lbs per acre

The above amendments should be applied to the entire landscape area and be incorporated into the upper 6-8" of the soil profile.
- Do not plant any shrub, perennials or groundcover closer than 24" from adjacent paving. Do not plant any tree closer than 4' from adjacent paving. Where trees must be planted closer than 6 feet from adjacent paving or building, contractor shall provide a linear deep root barrier (shantonn ep-1250 or approved equal.)
- Use 21-gram agriform plant tab fertilizer 21-10-5 as follows: 1 gallon plant: 1 tab, 5 gallon plant: 2 tabs, 15 gallon plant: 3 tabs, 24 inch box plant: 6 tabs, plant tabs shall be evenly spaced in bottom of hole, on side of rootball.
- All planting areas shall be top dressed 3 inches deep Stone mulch. Provide sample to owner's rep for approval.

PLANT LEGEND

DECIDUOUS TREE

LAG MUS
PIS KEI

SHRUBS

ANI BTN
CHO TEC
DIE IRI
ERI KAR
NAN DOM
PHO SPR
PIT WHE
RHA BA4
ROS HUN
TUL VIO

BOTANICAL / COMMON NAME

Lagerstroemia indica x fauriei 'Muskogee' / Muskogee Crape Myrtle
Pistacia chinensis 'Keith Davey' / Keith Davey Chinese Pistache

BOTANICAL / COMMON NAME

Anigozanthos x 'Bush Tango' / Bush Tango Kangaroo Paw
Chondropetalum tectorum / Cape Rush
Diets iridioides / Fournight Lily
Erigeron karvinskianus / Santa Barbara Daisy
Nandina domestica / Heavenly Bamboo
Phormium tenax 'Jack Spratt' / New Zealand Flax
Pittosporum tobira 'Wheeler's Dwarf' / Wheeler's Dwarf Pittosporum
Raphiolepis indica 'Ballerina' / Ballerina Indian Hawthorn
Rosmarinus officinalis 'Huntington Carpet' / Huntington Carpet Rosemary
Tulbaghia violacea / Society Garlic

CONT

24"box
36"box

SIZE

5 gal
5 gal
5 gal
1 gal
5 gal
5 gal
5 gal
5 gal
5 gal
1 gal
1 gal

QTY

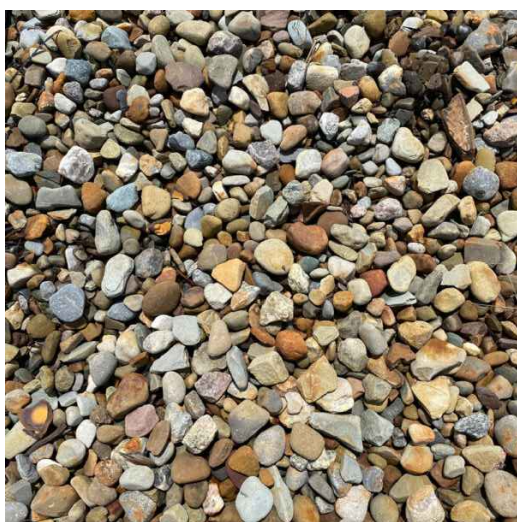
2
1

QTY

3
1
3
8
6
2
10
8
2
6



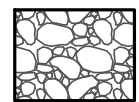
Decomposed Granite



Stone Mulch



Redwood Privacy Fence
4' to 6'



STONE MULCH—Small Cobbles 2"—4" all landscape areas to received stone mulch.



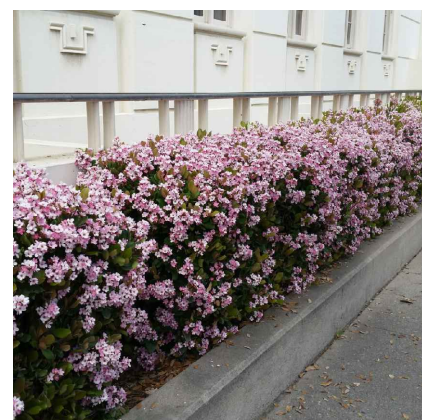
Decomposed Granite



Pistacia chinensis
'Keith Davey'



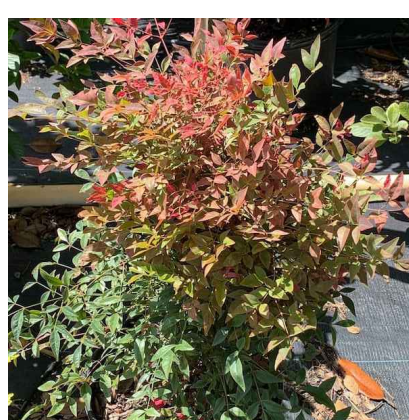
Lagerstroemia
indica x fauriei
'Muskogee'



Raphiolepis indica



Pittosporum tobira
'Wheeler's Dwarf'



Nandina domestica
'Compacta'



Chondropetalum
Anigozanthos x
tectorum
'Bush Tango'



Diets iridioides



Phormium tenax
'Jack Spratt'



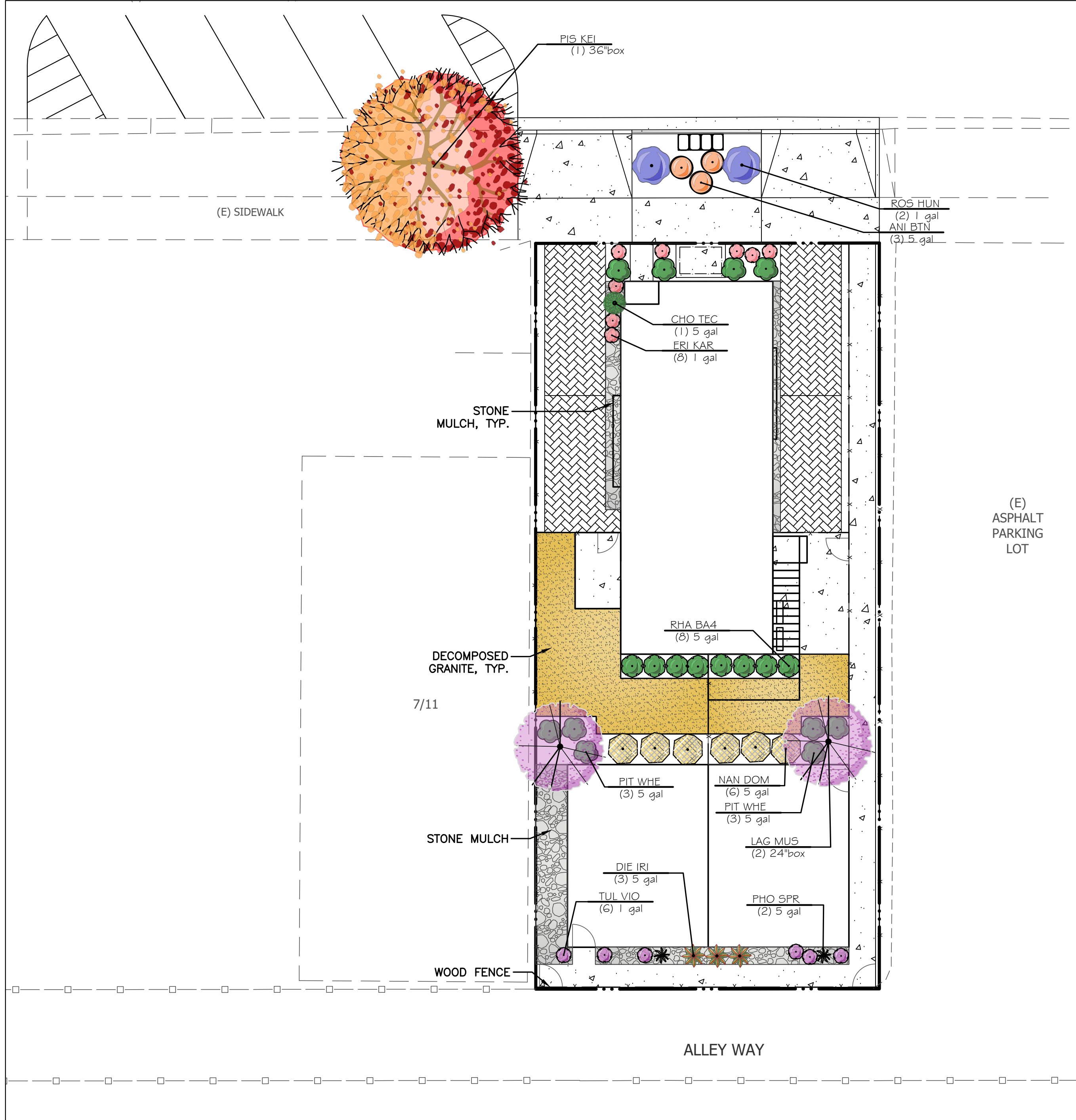
Tulbaghia violacea

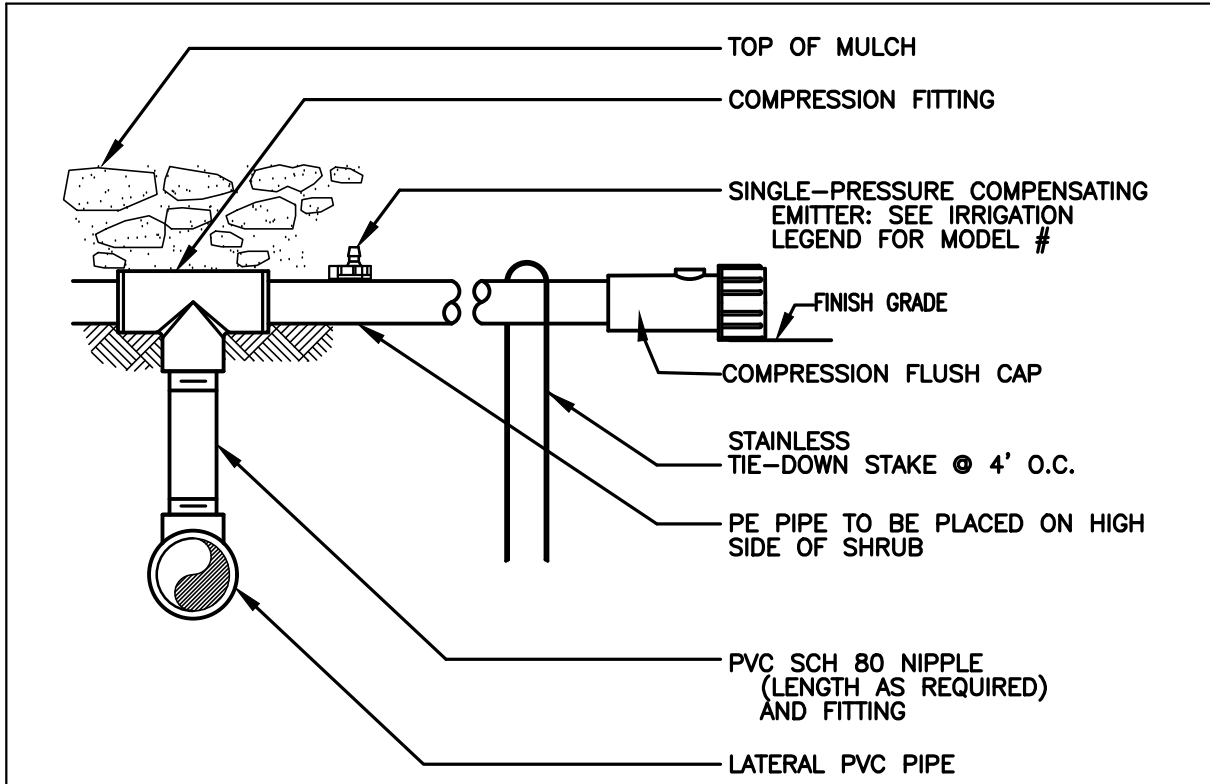


Erigeron karvinskianus

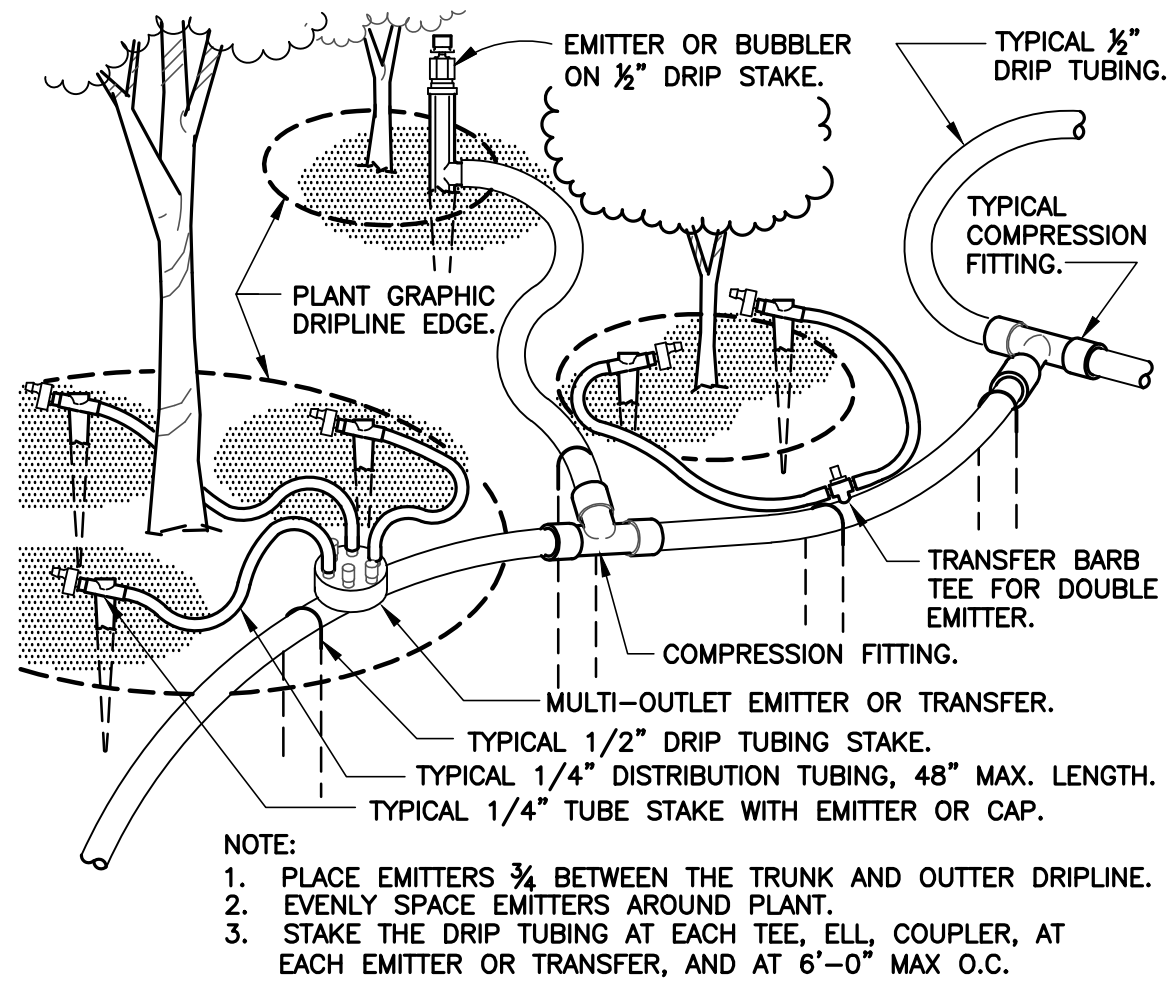


Rosmarinus officinalis
'Huntington Carpet'





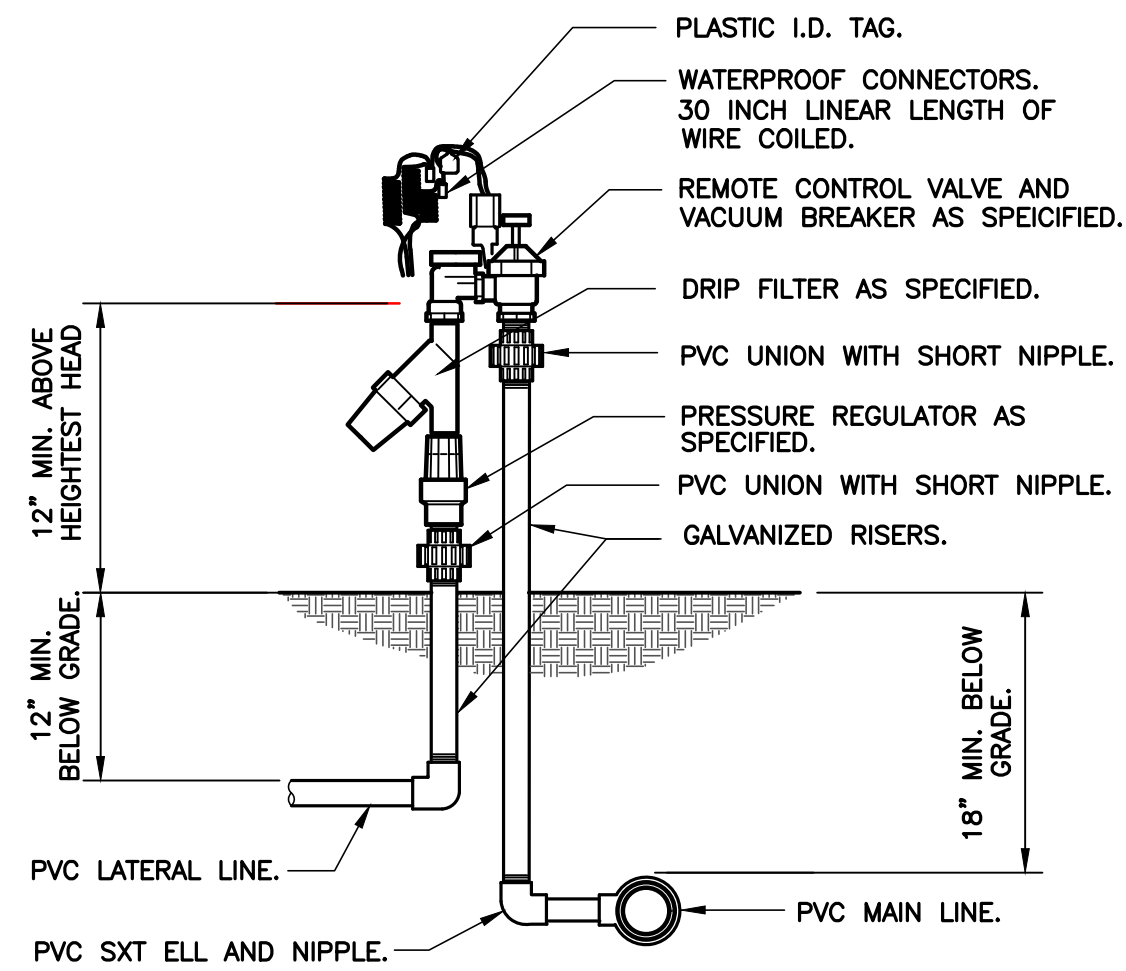
3 TRANSITION: PVC PIPE TO PE TUBING



2 TYPICAL DRIP TUBING

1 1/2" = 1'-0"

FX-IR-FX-DRIP-01



1 DRIP RCV/AVB/FILTER/REG ABOVE GRADE

1 1/2" = 1'-0"

FX-IR-FX-DRIP-10

IRRIGATION SCHEDULE

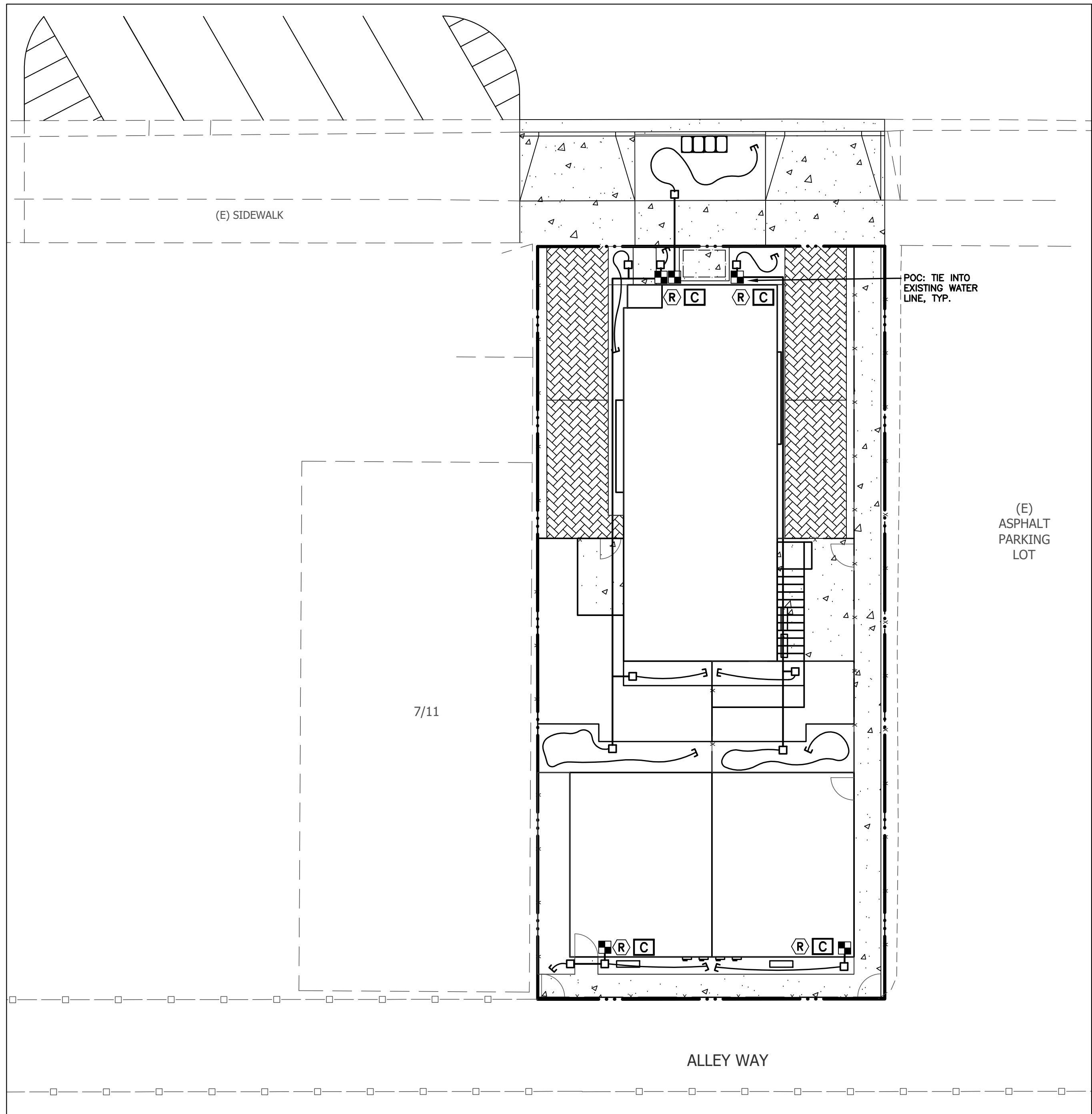
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
1402	Rain Bird RWS-36 1402 Series Trickle Bubbler, 2 per tree	6
	Rain Bird XACZ-075-PRF Low Flow Drip Control Kit, 3/4" Low Flow Anti-Siphon Valve, 3/4" pressure regulating RBY Filter, and 30psi pressure regulator, for above grade installation. 0.2gpm-5gpm, or equal	4
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
C	Rain Bird TM2 4 Station Indoor Controller, For Residential Use or equal	4
R	Rain Bird RSD-BEx Rain Sensor, with metal latching bracket, extension wire, or equal	4
	Irrigation Lateral Line: PVC SCH 40	
	Pipe sleeve: Sleeve all pipe under paved surfaces over 6 feet wide with PVC sch 40 pipe, a minimum of 2 times larger than the pipe being sleeved. One pipe per sleeve only. Minimum sleeve size is 2". Wires are to be sleeved se	
	DRIP IRRIGATION EQUIPMENT	
	Drip system distribution tubing: Agrifim A700 1/2" polyethylene tubing. Emitters: Agrifim PCP10 1 GPH pressure compensating emitters with bug caps or equal. Use 1 emitter per 1 or 5-gal. shrub and stainless tie down stakes.	
	Junction of pvc lateral and drip poly tubing: Use sts fitting, sch. 80 rigid riser, and ell with compression fitting to establish poly tubing at soil surface grade.	
	Agrifim compression end plugs: CEP700	
	Valve Callout	
	# Valve Number	
	# Valve Flow	
	# Valve Size	

GENERAL NOTES

- For graphic clarity, mainline and valves may be shown outside planter areas, but should be installed within planter areas where possible.
- For site dimensions and easements see architectural site plan.
- Site utilities are shown for informational purposes only. Refer to civil engineer's drawings for actual conditions.

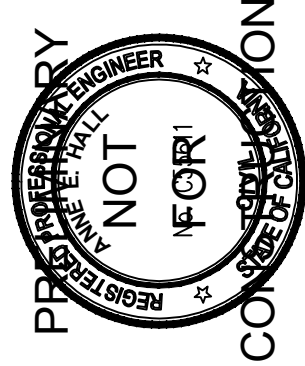
IRRIGATION NOTES

- Irrigation contractor shall locate all underground utility lines and protect same from his/her operations. Any damage done during the installation of irrigation system shall be repaired at no cost to the Owner.
- For bidding purposes, the work as indicated on this plan shall include all labor, tools, equipment, and services required to install the irrigation system as shown.
- This system is designed to operate on an existing working water pressure of 60 PSI and an available water supply of 10 GPM. Use of a pressure regulator may be required if system pressure exceeds 90 PSI. Irrigation Contractor shall verify static pressure at the point of connection, prior to further irrigation work, and shall notify Landscape Designer if static pressure is less than 70 PSI. Failure to do so may result in additional work at the Contractor's expense.
- Point of connection shall be as noted on plans.
- All work is to conform to state and local codes.
- Make trenches for pipelines deep enough to provide minimum coverage from finish grade as follows: 18" cover over mainlines, 12" cover over lateral lines. All pipe shall have a rock-free uniform bed the entire length of each line; otherwise bed in sand or other rock-free material. Snake all pipe in trenches (1 additional foot per 100 feet of pipe) to allow for expansion and contraction of pipe.
- Sleeve all pipe under paved surfaces over 6 feet wide with PVC Class 200 pipe a minimum of 2 times larger than the pipe being sleeved. One pipe per sleeve only. Minimum sleeve size is 2". Wires are to be sleeved separately from pipe.
- Control wires to be UL listed direct burial wire #14 minimum. Do not splice control wires. Run one extra control wire of different color through all valve locations from the controller. Leave 24" excess coils at valves, turns, and at 100' intervals. Lay wire next to pipe when possible.
- Install check valve in drip supply tubing where elevation drops more than 5'.
- Manufacturer's printed instructions shall be a part of this work and shall prevail over these notes.
- Used double lapped Teflon tape on all threaded connections except those to sprinkler heads (if any). Use primer during irrigation supply line installation. Solvent weld all PVC pipe according to manufacturer's instructions. Any glue remaining on pipe exterior after union has been made should be wiped off.
- Thoroughly flush mainline before installing valves and connecting lateral lines. Flush lateral lines prior to installing emitters.
- All pipes shall be tested at line pressure on supply side of valves and there shall be no leaks for a period of two hours.
- All backfill material shall be free of rocks, clods, and other extraneous materials. Compact back fill (water-jet method) to original density of soil.
- On the Plans, Irrigation Contractor shall make note of any deviations from the Plan that have taken place.
- Contractor shall affix a copy of Irrigation Schedule inside Controller box.



SAN BENITO ENGINEERING & SURVEYING, INC.

502 Monterey Street Hollister, California 95023
(831) 637-2763 FAX (831) 637-6835 email: sbes@garlic.com



DATE	
REVISIONS	
NO.	

CITY OF HOLLISTER
221 HAWKINS STREET
SAN BENITO COUNTY, CALIFORNIA

IRRIGATION PLAN

SCALE: 1" = 10'
DATE: 06 December 2023
JOB #: 118022
DWG: 118022 Lands.dwg

SHEET: L-2
2 OF SHEETS



Planning Commission

Staff Report

February 22, 2024

Item C2

SUBJECT: **Appeal 2024-1** – Annotti Landing LLC – The applicant is appealing the expiration of Site & Architectural Review 2020-9 due to delays in processing the associated tentative map (now filed and not included in the appeal), which in turn caused delays in issuing a building permit for the project. The project proposed the development of 16 multi-family units and 12 accessory dwelling units. The project site is located at 2001 Memorial Drive, further identified as Sean Benito County Assessor Parcel Number 057-770-040.

STAFF PLANNER: Eva Kelly, Planning Manager (831) 636-4360

ATTACHMENTS:

1. Resolution
2. Appeal Application
3. Approved Project Plans
4. PC Resolution 2020-15 (Approving TM 2020-1)
5. PC Resolution 2020-16 (Approving S&A 2020-9)
6. PC Resolution 2022-16 (Approving Extension to TM 2020-1 and S&A 2020-9)

RECOMMENDATION: Approve the Appeal and authorize a 1-year extension of Site & Architectural Review 2020-9, with conditions.

PROJECT DESCRIPTION:

Annotti Landing LLC (“Applicant”) has filed an appeal in accordance with section 17.24.140 - Appeals of the Hollister Municipal Code (“HMC”) related to the expiration of a Site & Architectural Review (“S&A”) for sixteen (16) multifamily apartments and twelve (12) accessory dwelling units (“Project”). The Project is located at 2001 Memorial Drive (San Benito County Assessor Parcel Number 057-770-040).

The original Project entitlement were determined to be Categorical Exempt from CEQA pursuant to Section 15332 Class 32 (Infill Development Projects); however, the expiration of the Project entitlement does not constitute a project under CEQA as it has no potential for causing a significant effect on the environment (section 15061(b)(3) of CEQA Guidelines).

BACKGROUND:

On August 27, 2020, the Planning Commission approved a tentative map and site and architectural

review (S&A) for the Project which included the subdivision of a parcel into 6 individual lots for the development of 16 multifamily units (four triplexes, and two duplexes) and 12 accessory dwelling units (two on each lot, attached to the multifamily structures). Condition #1 of Planning Commission Resolution 2020-16 approving the S&A 2020-9 states that “this approval expires on August 27, 2022 unless the City grants an extension.” (Attachment 5.)

On June 29, 2022, the Project applicant submitted a timely request for a 1-year extension to the Planning Division for Tentative Map 2020-1 and Site & Architectural Review 2020-9.

On July 1, 2022, the applicant submitted improvement plans (Submittal #1) to the Engineering Division.

On August 11, 2022, the Engineering Division provided comments to the Engineer of Record for the project on Improvement Plan Submittal #1.

On September 22, 2022, the Planning Commission adopted Resolution 2022-16 approving a 1-year extension of TM 2020-1 and S&A 2020-9 (Attachment 6). Condition #2 of Planning Commission Resolution 2022-16 states that “the Vesting Tentative Map 2020-1 and Site & Architectural Review approval shall expire one year from the date of approval unless a building permit is obtained.”

On September 28, 2022, the first Map Check was authorized for review by the Engineering Division.

On November 16, 2022, the applicant submitted revised improvement plans to the Engineering Division (Submittal #2).

On January 9, 2023, the Improvement Plans for the project were approved by the Engineering Division.

In April 2023, the applicant contacted the Building Division regarding submitting a building permit application, but was unable to as the application was incomplete, and there was a question as to whether the applicant needed to contact the Planning Division related to the accessory dwelling units that were approved with the project.

On September 5, 2023, the City Council approved the Subdivision Improvement Agreement and Final Map for the Project.

On October 3, 2023, the Final Map was recorded by San Benito County.

On October 23, 2023, the applicant contacted the Planning Division via email stating that they were ready to move forward with the building phase of the project but were being redirected to Planning for re-approval of the ADUs. While the Planning Division agreed with the applicant that the design of the accessory dwelling units was approved as part of the original project S&A, because this email was dated after the September 22, 2023 expiration date of the project’s previous extension, staff engaged with the City Attorney to review the project entitlements. It was determined, after discussion with the City Attorney, that the Vesting Tentative Map entitlement, having been timely filed with the Engineering Division prior to the expiration date, was not expired; but the S&A, as a building permit had not been issued prior to the expiration date, was deemed expired.

ANALYSIS:

Bases for the Appeal

The Applicant is asking the Planning Commission to determine that the S&A has not expired. Alternatively, if the Planning Commission determines that the S&A has expired, the Applicant is asking the Planning Commission to extend the S&A. Below are the Applicant's bases for the Appeal and staff responses to those bases.

1. *"We are requesting an appeal to allow the Annotti Landing project to move forward with the Building Plan submittal. The developer has been fully engaged with the project since the extension of the S&A in September 2021[sic], however there have been delays due to staff changes and some resulting confusion. The developer has shown commitment to the project by posting over 2.4 million dollars in bonds in September, 2023, as part of the Subdivision Improvement Agreement. He asks the Planning Commission to consider this and allow him to move forward with this multi-family, infill project."*

As described in the project timeline above, the applicant received an original 1-year extension for the project in September 2022 from the Planning Commission. During this time, and after the extension request was approved by the Planning Commission, the applicant was engaged with the City Engineering Division for review of the Project improvement plans and final map. Since the approval of the Subdivision Improvement Agreement and recordation of the final map,

Additionally, following the applicant's contact with the Planning Division on October 23, 2023, staff have been working with the City Attorney and the applicant to determine if there is a path forward for the project despite the expiration of the extension. In these discussions, the applicant indicated to staff that they had attempted to submit a building permit application to the Building Division for the Project in April 2023. City staff was able to contact the former Building Official, who recalled meeting with the project's designer in April 2023 and that the plan set was incomplete at the time, so the submittal was not taken in for processing. However, in the discussions between staff and the applicant, it appears that there may have been confusion on both the City side and the applicant's side as to whether additional permit requirements were needed from the Planning Division for the accessory dwelling units (ADUs). The Planning Division was not contacted with this question until after the expiration date of the entitlements, though, once contacted, it was confirmed that additional entitlements to approve the design of the ADUs would not have been required, because the design was approved as part of the S&A.

Had there been no confusion, it is likely that the applicant would have been able to submit a building permit application and the plans would likely have been reviewed and approved prior to the September 22, 2023 expiration date of the S&A entitlement. If the applicant had been issued a building permit prior to the expiration date, the entitlements for the project would be extended for the life of the building permit, allowing for completed construction of the development.

Project Compliance with the Current HMC

The original project entitlements were approved by the Planning Commission on August 27, 2020. While

state law and the Municipal Code have changed since the date of the original entitlements, the project was entitled as a Vesting Tentative Map. Under the Subdivision Map Act, vesting tentative maps, upon their timely filing with the approving authority, are granted vested rights for certain items, such as development standards, codes, policies, etc. in place at the time of approval. These rights are in place for up to two years following the recordation of the final map. The final map for the project was timely filed with the City prior to the expiration of the vesting tentative map, and was recorded on October 3, 2023. This means that a review of the project architecture and site design is subject to those standards that were in place at the time of original approval, rather than the current standards.

The Site & Architectural Review of the project was found to be in compliance with the codes and policies in place at the time of original project approval on August 27, 2020, and no modifications have been proposed to the project.

Should the Planning Commission choose to uphold the appeal, staff is recommending the addition of one condition to the project to require the recordation of any reciprocal access or parking easements that may be necessary to ensure that the shared driveway and parking lot for the units remain open in perpetuity. This condition was not included in the original approvals, but the original project design incorporates shared access. Adding this condition will simply ensure that the units that do not have direct access to the public right-of-way will keep access into the future.

Process to Extend an S&A Expiration Date

The HMC provides a specific process by which an S&A expiration date shall be extended. HMC section 17.24.130(E)(1), but this section addresses only the expiration date of the S&A. The HMC sets forth that “should expiration be eminent, upon request by the applicant, the Director may extend the time for an approved permit to be exercised. The applicant shall file a written request for an extension of time with the [Development Services] Department at least ten days before the expiration of the permit, together with the filing fee... The Director shall then determine whether the permittee has attempted to comply with the conditions of the permit. The burden of proof is on the permittee to establish with substantial evidence that the permit should not expire. If the Director determines that the permittee has proceeded in good faith and has exercised due diligence in complying with the conditions in a timely manner, the Director may renew the permit for up to two additional years. For phased developments with three or more buildings, an extension of a third year may be granted if at least one of the buildings has been constructed.” (HMC, § 17.24.130(E)(2).)

Because a request for extension was not filed prior to the expiration date, staff does not have the authority to issue an extension request for the project under this code.

Planning Commission Authority

The Planning Commission may affirm, affirm in part, or reverse the action, decision or determination that is the subject of the Appeal, based upon findings of fact. The findings shall identify the reasons for the action on the appeal and verify the compliance or noncompliance of the subject of the appeal with the provisions of this Zoning Ordinance. (HMC, § 17.24.140 C.2.a.) When reviewing a decision on a land use permit, the Planning Commission may also adopt additional conditions of approval to address issues or concerns other than the subject of the appeal. (HMC, § 17.24.140 C.2.b.)

The Planning Commission has the authority to approve entitlements for Site & Architectural Review applications. As described above, the project has certain vested rights granted under the Subdivision Map Act, to be reviewed under codes that were in place at the time of the original expiration. It would be typical for an applicant to have to resubmit a new entitlement application for review under current codes and regulations after entitlements expire. A new application would require the applicant to resubmit all plans, fees, and other associated documents required of a new application. However, the vested rights granted by the tentative map would mean that much of that documentation would not be required in order for staff to bring the project forward for consideration by the Planning Commission. With no changes to the plans, the same findings could be made to grant a new entitlement as were made with the original entitlement. In addition to taking up additional time, the application fees that would be incurred by the applicant would be significantly more than what would be needed to process their application by City staff due to the circumstances of the project.

Section 17.24.130 of the municipal code offers up to two years for an extension of a Site & Architectural Review application. The project applicant has received approval for an extension of only one additional year from the original two-year entitlement period. Additionally, the Planning Commission has the authority to issue conditions on a project application, or a request for extension, and they have the right to modify the conditions on any such application that they approve. Given the applicant's active engagement on the development of the Project, as well as the fact that it is likely that a building permit could have been issued for the project prior to the expiration if there had been no miscommunication between the City and the applicant, it is within the Planning Commission's purview to consider the appeal of the expiration and find that the entitlement should be extended in this case, or a new entitlement granted for the original project plans.

CONCLUSION:

The S&A expired on September 22, 2023. Due to miscommunications by and between city staff and the applicant, a building permit was not issued prior to the expiration date, nor was a request for extension filed with the Planning Division. The project applicant has been actively engaged in the development for the past year and has executed a Subdivision Improvement Agreement including posting bonds for public improvements associated with the project. The project plans are deemed consistent with city requirements because the applicant also timely filed a Final Map based on the approved Vesting Tentative Map and are subject to the same regulations as were in place at the time of the project's approval. The Applicant has requested that the Planning Commission determine that the project is not expired and extend the entitlement for one additional year as authorized by the Hollister Municipal Code.

PLANNING COMMISSION OPTIONS:

The Planning Commission can choose one of the following options:

1. Adopt a Resolution approving the appeal and extending Site & Architectural Review 2020-9 for one year, subject to the findings and conditions contained in the draft resolution.
2. Adopt a Resolution upholding the appeal, with modifications made by the Planning Commission.

3. Adopt a Resolution denying the appeal and determining that Site & Architectural Review 2020-9 has expired.
4. Continue the hearing and direct Staff to provide additional information or clarification.

Staff recommends the Planning Commission select Option 1 for this Item.

PLANNING COMMISSION RESOLUTION NO. 2024-XX

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HOLLISTER APPROVING APPEAL 2024-1,
AN APPEAL OF THE EXPIRATION OF SITE AND ARCHITECTURAL REVIEW PERMIT 2020-9**

WHEREAS, on August 27, 2020, the Planning Commission approved Vesting Tentative Map 2020-1 and Site and Architectural Review 2020-9 for the development of sixteen (16) multifamily apartments and twelve (12) accessory dwelling units, located at 2001 Memorial Drive, further identified as San Benito County Assessor Parcel Number 057-770-040 ("Project"); and

WHEREAS, On September 22, 2022, the Planning Commission adopted Resolution 2022-16 approving a one-year extension of the Project entitlements in accordance with Section 17.24.130 of the Hollister Municipal Code; and

WHEREAS, Resolution 2022-16 conditioned the extension of the project that is should expire after one year unless a building permit was issued; and

WHEREAS, the Final Map for the project was timely filed with the City of Hollister Engineering Division, was approved the City Council on September 5, 2023, and was recorded by the San Benito County Recorder's Office on October 3, 2023, granting vested rights to the property for up to two years under the Subdivision Map Act; and

WHEREAS, Hollister Municipal Code section 17.24.130 (E)(2) allows the Development Services Director to extend a Site and Architectural Review permit one time upon request of the applicant; and

WHEREAS, the Project applicant did not apply for and the City did not grant an extension to Site and Architectural Review 2020-9; and

WHEREAS, the Project was not issued a building permit prior to the Site and Architectural Review expiration date of September 22, 2022, but the applicant had attempted to submit an application in April 2023 to the Building Division; and

WHEREAS, the application submittal in April 2023 to the Building Division was not accepted because it was incomplete, but there was no attempt to resubmit due to confusion regarding whether additional planning entitlements would be required in order to approve the accessory dwelling units; and

WHEREAS, had the building permit been submitted, the applicant would likely have been issued a building permit prior to the expiration of the project; and

WHEREAS, the applicant has been actively engaged in the development of the project, including entering into a Subdivision Improvement Agreement with the City, and posting bonds toward the construction of public improvements related to the Project; and

WHEREAS, the Project applicant has appealed the expiration of the entitlement for Site & Architectural Review 2020-9 based on the confusion caused by the building permit submittal, their active engagement in the development of the project, and Section 17.24.130 of the Municipal Code which allows for an extension request to be considered for up to two years.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Hollister does hereby approve Appeal 2024-1 and determines that Site & Architectural Review 2020-9 has not expired.

BE IT FURTHER RESOLVED, that the Planning Commission does hereby authorize an additional one-year extension of Site & Architectural Review 2020-9 based on the following findings and conditions of approval:

- A. The Planning Commission finds that the Project Applicant has been actively engaged with the development of the project, including entering into a Subdivision improvement Agreement with the City and posting bonds for the construction of project-related public improvements; and
- B. The Applicant has attempted to submit an application for a building permit, prior to the expiration date of the entitlement, but due to several points of confusion between both city staff as well as the applicant team, the application was not able to be submitted for processing. However, had there been no confusion, the applicant's submittal efforts were far enough in advance of the expiration that a building permit would have likely been issued prior to the expiration date; and
- C. Section 17.24.130(E)(2) authorizes up to a two-year entitlement extension, and the Applicant has currently only been authorized for one extension year after the original approval; and
- D. Due to the timely filing of the Final Map for the project which vested rights to August 27, 2020, a new submittal of a Site & Architectural Review Application would be subject to the same development regulations in place at the time of project approval; and
- E. No changes are proposed to the project plans which would warrant a new analysis of the proposal, and all findings and conditions of approval contained in the original project approvals are still applicable, and the project was deemed consistent with all City standards; and
- F. Requiring the applicant to submit a new entitlement application would be costly and time-consuming, and would not result in any changes needing to be made to the original entitlement in order for this project to be approved to move forward; and
- G. The Planning Commission finds that the applicant made good faith efforts to comply with the conditions of approval prior to the date of expiration, and due to the unique circumstances of confusion in direction, was not able to execute the conditions in full, and thus the project should be deemed not expired, and granted the additional year of extension as authorized by the code in order to complete the project.

**CONDITIONS OF APPROVAL
APPEAL 2024-1 (S&A 2020-9)**

General Conditions

1. **Approval.** This approval is to uphold Appeal 2024-1 and determine that the entitlement for Site & Architectural Review (S&A) 2020-9 as approved by Resolution 2020-16 on August 27, 2020 and as extended by Resolution 2022-16 on September 22, 2022 is not expired, and to grant an additional

year for implementation of the project in accordance with Section 17.24.130(E) of the Hollister Municipal Code.

2. **Permit Expiration.** In accordance with Section 17.24.130(E)(2) of the Hollister Municipal Code, this extension shall expire one year from the date of approval, unless a building permit is issued. This approval shall be considered the second, one-year extension of S&A 2020-9. Upon issuance of a building permit, the entitlement shall be extended until either of the following scenarios occur: 1) a Final Occupancy permit is issued for all structures approved by the entitlement, in which case the entitlement and all conditions of approval shall run with the land in perpetuity; or 2) the issued building permit is allowed to expire, and no request for extension of either this entitlement or the building permit is submitted and approved by the City of Hollister in accordance with all applicable regulations.
3. **Time Extension.** In accordance with Section 17.24.130(E)(2) of the Municipal Code, as this project is a phased development with three or more buildings, if at least one of the buildings has been constructed, the Director may grant an extension of one additional year upon the request of the applicant. The applicant shall file the request in writing, on a form approved by the City, along with any applicable fees, no less than ten (10) days prior to the expiration of the permit. For the purposes of this condition, “constructed” shall mean that the structure has been issued either a final certificate of occupancy or temporary certificate of occupancy from the Building Division; or is, in the sole opinion of the Director, at a completed state of construction, but circumstances (such as a project-scale condition of approval) prohibit the issuance of such an occupancy permit for the structure.
4. **Appeal Period.** The application for a building permit will be accepted for submittal after the completion of the 15-day appeal period for the project, unless the Director of Development Services authorizes the project developer to submit a signed statement acknowledging that the plan check fees will be forfeited in the event that the approval is overturned on appeal, or that the design is significantly changes as a result of the appeal. In no case with a building permit be issued until the appeal period has expired or a final action is taken on the appeal.
5. **Indemnification.** The Applicant/Developer shall defend, indemnify and hold harmless the City of Hollister and its agents, officers, employees, advisory board from any claim, action, or proceeding against the City of Hollister or its agents, officers, or employees to attach, set aside, void or annul an approval of the City of Hollister or its advisory agency, appeal board, Planning Commission, City Council, Director of Development Services or any other department, committee, or agency of the City related to this project to the extent that such actions are brought within the time period required by Government Code Section 66499.37 or other applicable law; provided, however that the Applicant/Developer duty to so defend, indemnify, and hold harmless shall be subject to the City’s promptly notifying the Applicant/Developer of any claim against the City and shall cooperate in the defense.
6. **Modifications.** Modifications or changes to the Site and Architectural Review may be considered by the Director of Development Services if the modifications or changes proposed comply with Section 17.24.130(F) of the Municipal Code.

7. **Clarification of Conditions.** In the event that there needs to be clarification to the Conditions of Approval, the Director of Development Services and the City Engineer have the authority to clarify the intent of these Conditions of Approval to the Developer without going to a public hearing. The Director of Development Services and City Engineer also have that authority to make minor modifications to these conditions without going to a public hearing in order for the Developer to fulfill needed improvements or mitigations resulting from impacts to this project.

Project Extension Conditions of Approval

8. **Previously Approved Resolutions.** All findings and conditions in Planning Commission Resolution 2020-15 approving Vesting Tentative Map 2020-1, Planning Commission Resolution 2020-16 approving Site & Architectural Review 2020-9, and Planning Commission Resolution 2022-16 approving the extension of the same, shall apply to this project.
9. **Reciprocal Access Easement.** Prior to issuance of a certificate of final occupancy for the first building in the development, the applicant shall cooperate with the City to record any necessary reciprocal access easements and/or parking agreements to ensure that all units will have access to the public-right-of-way and shared facilities such as parking in perpetuity. The City Engineer shall have the authority to determine the necessary documentation, if any, required to fulfil this condition, and shall review and approve the form and content of such documentation.

PASSED AND ADOPTED, at a regular meeting of the City of Hollister Planning Commission held on this 22nd day of February 2024, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Chairperson of the Planning Commission
of the City of Hollister

ATTEST:

Christy Hopper, Secretary

RECEIVED

JAN 26 2024

CITY OF HOLLISTER
PLANNING DIVISION



DEVELOPMENT PROJECT APPLICATION

PLEASE READ AND COMPLETE THIS APPLICATION FORM CAREFULLY

THIS APPLICATION IS FOR (CHECK THE APPROPRIATE BOX):

☒ Appeal to Planning Commission

☐ Appeal to City Council

1. **Applicant(s):** Annotti Landing LLC
Address: 976 San Benito St
City: Hollister **State:** CA **Zip Code:** 95023
Phone #: 831-801-0280 **FAX:** _____ **E-Mail:** rampm.roger@gmail.com
2. **Property Owner(s):** R&C McDonald Family Trust
Address: 51 Old Ranch Rd
City: Hollister **State:** CA **Zip Code:** 95023
Phone #: 831-801-0280 **FAX:** _____ **E-Mail:** rampm.roger@gmail.com
3. **Property Location:** 2001 Memorial Dr, Hollister, CA
4. **Assessor Parcel Number(s):** 057-770-040
5. **Size of Property** (acres or square feet): 1.7 acres
6. **Zoning District:** Present: R-3 Proposed (if applicable): _____
7. **General Plan Designation:** Medium Density Residential

8. Describe the proposed project:

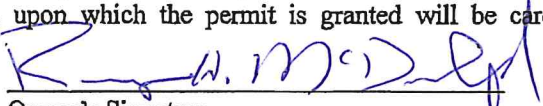
Site and Architectural Review 2020-9 was approved for the construction of a duplex residential building with two attached accessory dwelling units on two lots (lots 1 and 2) for a total of four residential units on each of the two lots and a triplex residential building with two attached accessory dwelling units on four lots (lots 3 through 6) for a total of five residential units on each of the four lots for a total of twenty-eight residential units consisting of sixteen (16) multifamily residential units and twelve (12) accessory dwelling units on a 1.70 acre site located at 2001 Memorial Drive.

9. Describe the basis for the appeal:

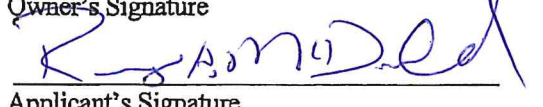
We are requesting an appeal to allow the Annotti Landing project to move forward with Building Plan submittal. The developer has been fully engaged with the project since the extension of the S&A in September, 2021, however there have been delays due to staff changes and some resulting confusion. The developer has shown commitment to the project by posting over 2.4 million dollars in bonds in September, 2023, as part of the Subdivision Improvement Agreement. He asks the Planning Commission to consider this and allow him to move forward with this multi-family, infill project.

10. Certification: The application is correct and accurate to the best of my knowledge. If the request is granted, I (we) agree that the provisions of City and State Law will be complied with and the conditions, if any, upon which the permit is granted will be carefully observed.

1/26/24
Date


Owner's Signature

1/26/24
Date


Applicant's Signature

Staff Use Only

Received by:

Rosa Lopez

Date:

1/26/2024

Application Number

Appeal 2024-1

The Development Services Department staff appreciates your effort to complete this application. If you have questions or comments, please contact our staff at (831) 636-4360.

**SAN BENITO ENGINEERING
& SURVEYING, INC.**

502 MONTEREY STREET
HOLLISTER, CA 95023

(831) 637-2763 FAX: 1(831) 854-9581

TO: City of Hollister
Planning Dept.

LETTER OF TRANSMITTAL

DATE 1-26-2024 JOB NO. 119017

ATTENTION Eva Kelly

RE: Annotti Landing

RECEIVED

JAN 26 2024

**CITY OF HOLLISTER
PLANNING DIVISION**

WE ARE SENDING YOU:

- ☐ ATTACHED ☐ UNDER SEPARATE COVER VIA _____ THE FOLLOWING ITEMS:
- ☐ SHOP DRAWINGS ☐ PRINTS ☐ PLANS ☐ SAMPLES ☐ SPECIFICATIONS
- ☐ COPY OF LETTER ☐ CHANGE ORDER ☐ _____

COPIES	DATE	NO.	DESCRIPTION
<u>1</u>			<u>Appeal to Planning Commission application</u>
<u>1</u>			<u>check \$2007.03 check # 1116</u>

THESE ARE TRANSMITTED as checked below:

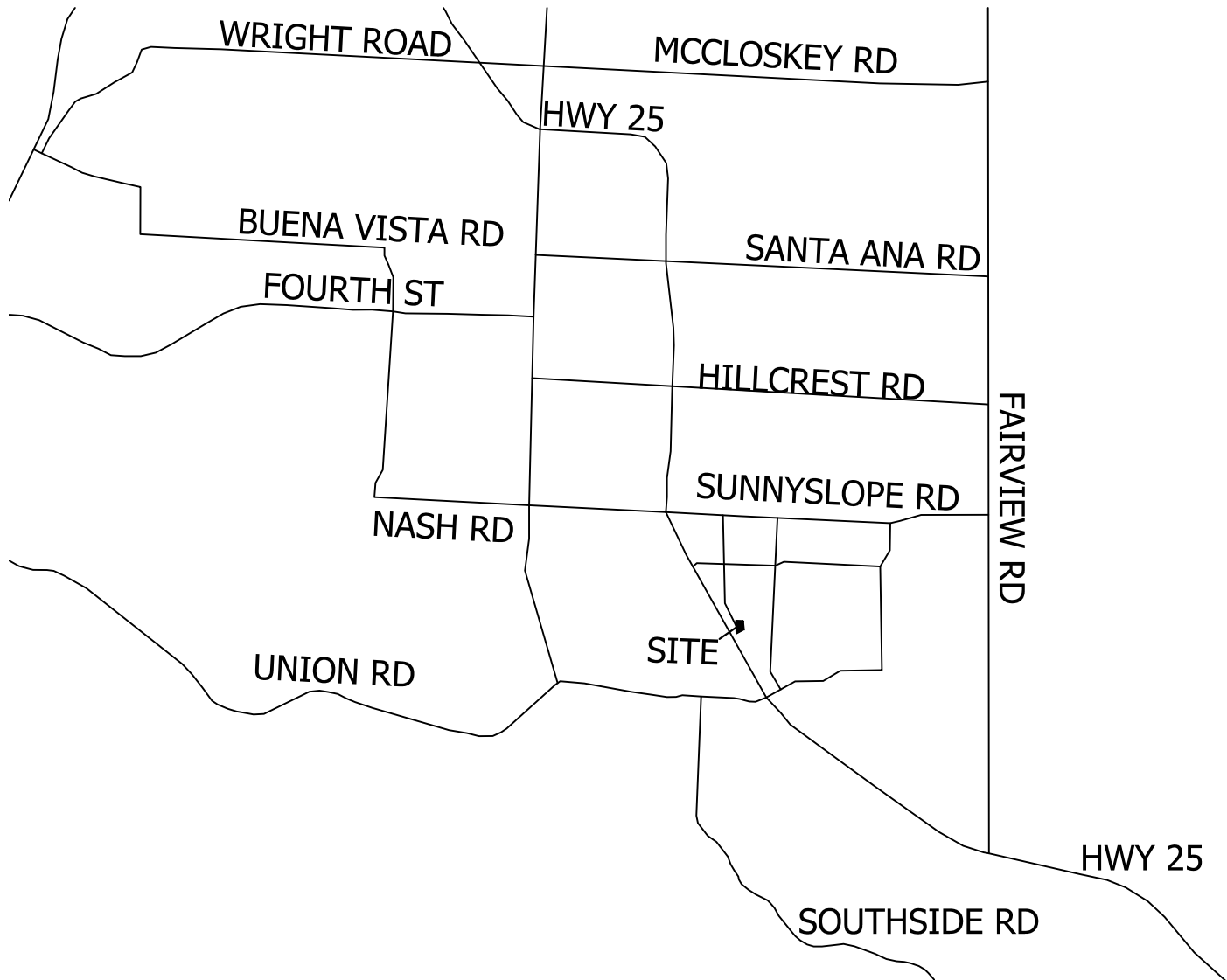
- ☐ FOR APPROVAL ☐ APPROVED AS SUBMITTED ☐ RESUBMIT _____ COPIES FOR APPROVAL
- ☐ FOR YOUR USE ☐ APPROVED AS NOTED ☐ SUBMIT _____ COPIES FOR DISTRIBUTION
- ☐ AS REQUESTED ☐ RETURNED FOR CORRECTIONS ☐ RETURN _____ CORRECTED PRINTS
- ☐ FOR REVIEW AND COMMENT ☐ _____
- ☐ FOR BIDS DUE _____ 20 _____ ☐ PRINTS RETURNED AFTER LOAN TO US

REMARKS:

COPY TO: _____ SIGNED: Ki Jo

If enclosures are not as noted, kindly notify us at once.

SITE & ARCHITECTURAL REVIEW
MAJOR SUBDIVISION
ANNOTTI LANDING
SAN BENITO COUNTY, CA
AUGUST, 2020



VICINITY MAP

PROJECT INFORMATION:

OWNER:
TOM KING
1100 LA SALINA COURT
PUNTA GORDA, FL 33950
(831) 801-7994

APPLICANT:
ROGER MCDONALD
996 SAN BENITO STREET
HOLLISTER, CA 95023
(831) 801-0280

ENGINEER:
ANNE E. HALL, RCE 55611
SAN BENITO ENGINEERING & SURVEYING
502 MONTEREY STREET
HOLLISTER, CA 95023
(831) 637-2763

ASSESSORS PARCEL NO. 057-770-040
PARCEL AREA = 1.70 ACRES

GENERAL PLAN: MEDIUM DENSITY RESIDENTIAL
ZONING: MEDIUM DENSITY RESIDENTIAL
LAND USE: MEDIUM DENSITY RESIDENTIAL

PROPOSED DENSITY: 9.4 DU/ACRE

WATER SOURCE: SUNNYSLOPE COUNTY WATER DISTRICT
SEWER: CITY OF HOLLISTER
GAS AND ELECTRIC: PACIFIC GAS & ELECTRIC
TELEPHONE: AT&T

THIS PROJECT IS NOT WITHIN THE FLOOD PLAIN ACCORDING
TO THE FLOOD INSURANCE MAPS DATED APRIL 16, 2009.
(APPROXIMATE LIMIT OF THE FLOOD PLAIN IS SHOWN ON SHEET 9)

THIS PROPERTY IS NOT WITHIN A FAULT ZONE.

TOPOGRAPHIC SURVEY PERFORMED BY SAN BENITO ENGINEERING &
SURVEYING, INC.

THIS PROPERTY IS CATEGORIZED AS AN URBAN UNZONED FIRE
SEVERITY AREA.

DEVELOPMENT REGULATIONS:

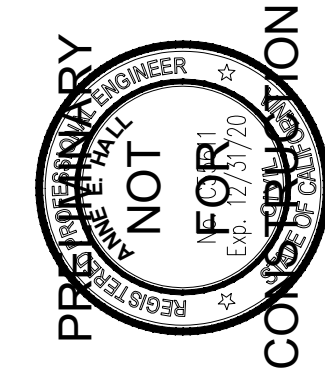
MINIMUM LOT SIZE = 7,928 SF
MAXIMUM LOT SIZE = 11,374 SF
AVERAGE LOT SIZE = 10,053 SF

SETBACKS:
- FRONT = 15'
- FRONT GARAGE = 18'
- REAR = 10'
- SIDE = 7'
- SIDE CORNER = 10'

TABLE OF CONTENTS

SHEET	DESCRIPTION
1	TITLE SHEET
C1	SITE PLAN
D-2	DUPLEX - LOWER FLOOR PLAN
D-3	DUPLEX - UPPER FLOOR PLAN
D-4	DUPLEX - ROOF PLAN
D-5	DUPLEX - ELEVATION 1
D-6	DUPLEX - ELEVATION 2
T-2	TRIPLEX - LOWER FLOOR PLAN
T-3	TRIPLEX - UPPER FLOOR PLAN
T-4	TRIPLEX - ROOF PLAN
T-5	TRIPLEX - ELEVATION 1
T-6	TRIPLEX - ELEVATION 2
T6-2	TRIPLEX LOT 6 - LOWER FLOOR PLAN
T6-3	TRIPLEX LOT 6 - UPPER FLOOR PLAN
T6-4	TRIPLEX LOT 6 - ROOF PLAN
T6-5	TRIPLEX LOT 6 - ELEVATION 1
T6-6	TRIPLEX LOT 6 - ELEVATION 2
C2	GRADING & DRAINAGE PLAN
L1	LANDSCAPE PLAN

SAN BENITO ENGINEERING
& SURVEYING, INC.



NO.	REVISIONS	DATE

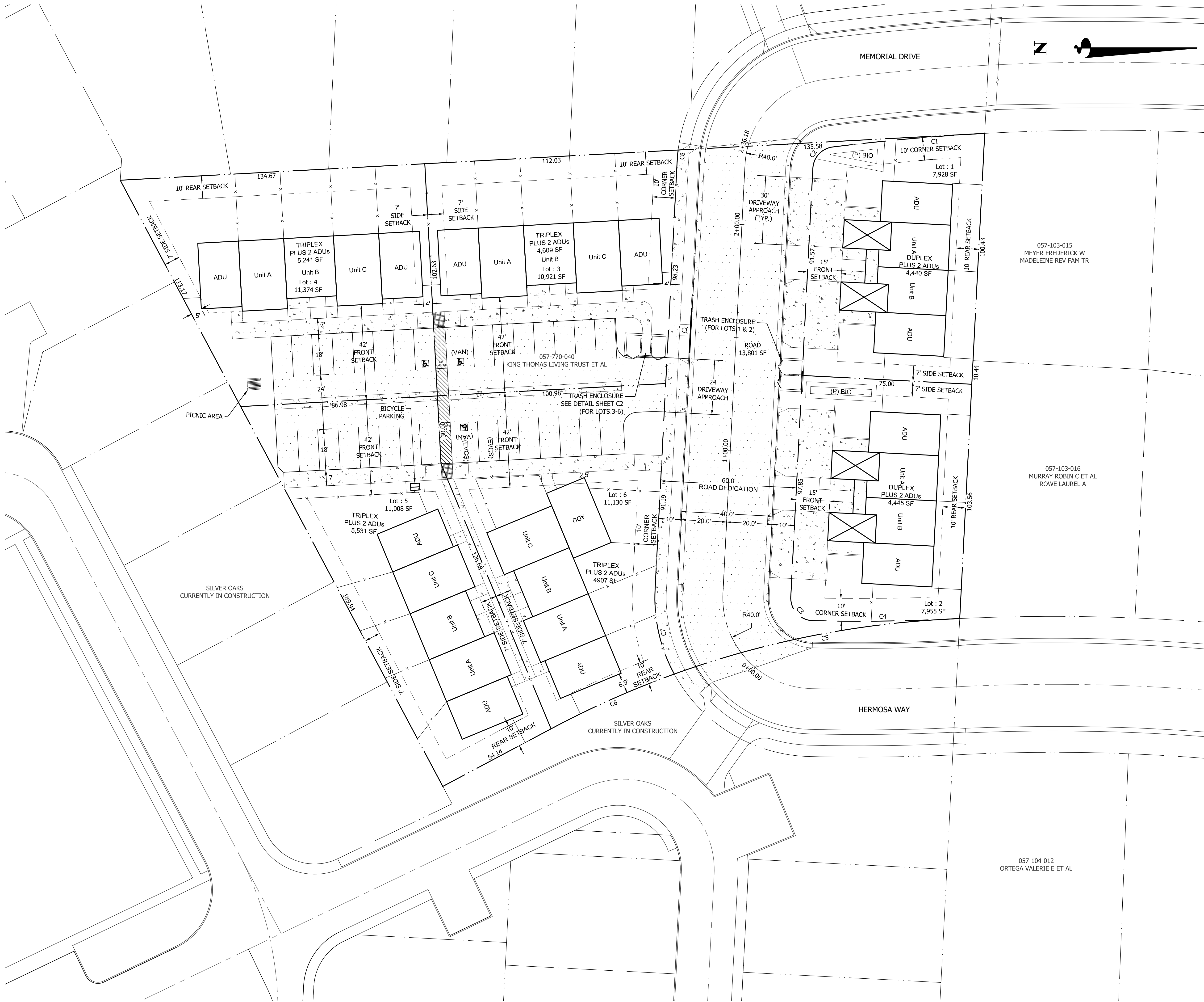
CITY OF HOLLISTER
APN 057-770-040
MEMORIAL & HERMOSA
SAN BENITO COUNTY, CALIFORNIA

COVER SHEET
& NOTES

SCALE: AS NOTED
DATE: 13 August 2020
JOB #: 119017
DWG: 119017TM.dwg

SHEET: 1
OF 19 SHEETS

* FILE NAME: X:\AutoCAD Projects\2019\119017\119017TMM.dwg * Plotted on: Thursday, 13 August 2020 at 3:43pm by: OWNER *



Curve Table			
Curve #	Length	Radius	Delta
C1	67.42'	970.0'	3° 58' 56"
C2	13.96'	10.0'	79° 57' 56"
C3	15.98'	10.0'	91° 34' 12"
C4	61.84'	840.0'	4° 13' 05"
C5	122.20'	416.3'	16° 49' 01"
C6	59.59'	416.3'	8° 12' 05"
C7	38.61'	70.0'	31° 36' 03"
C8	4.99'	70.0'	4° 05' 14"

- (P) CONCRETE
4" PCC / 8" CL2 AB
- (P) ASPHALT
2.75" AC / 10" CL2 AB
- (VAN) - VAN ACCESSIBLE STALL

(EVCS) - ELECTRONIC VEHICLE CHARGING STATION -
STALLS TO BE CONSTRUCTED TO FACILITATE
FUTURE INSTALLATION OF ELECTRIC VEHICLE
SUPPLY EQUIPMENT (EVSE)

DUPLEX AND TRIPLEX UNITS COMPLY WITH CITY OF HOLLISTER
R-3 SETBACKS. ATTACHED ADU'S USE 4' SIDE AND REAR SETBACKS
ESTABLISHED BY CALIFORNIA STATE ORDER

PARKING (LOTS 1 & 2)
REQUIRED PARKING:
(2/UNIT + 1 GUEST/ 4 UNITS) X 2 UNITS = **5 STALLS/LOT**
PROVIDED PARKING: **6 TOTAL** - (2 IN GARAGES, 4 ON DRIVEWAYS)

PARKING (LOTS 3-6)
REQUIRED PARKING:
(2/UNIT + 1 GUEST/ 4 UNITS) X 12 UNITS = **27 STALLS**
PROVIDED PARKING: **32 TOTAL** - 2 ADA (1 VAN ACCESSIBLE), 2 EV
CHARGING (1 VAN ACCESSIBLE)

BICYCLE PARKING:
10% OF PROVIDED PARKING STALLS X 32 STALLS = 3.2 = **4**
PROVIDED BICYCLE PARKING: **4 TOTAL** ON LOT 5

LOT COVERAGE:
LOT 1 - 39% COVERAGE
LOT 2 - 39% COVERAGE
LOT 3 - 28% COVERAGE
LOT 4 - 28% COVERAGE
LOT 5 - 29% COVERAGE
LOT 6 - 28% COVERAGE

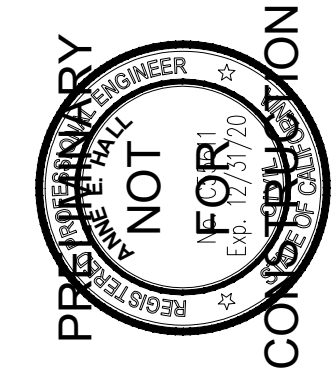
LEGEND

- EXISTING CONTOUR
PROPOSED CONTOUR
BOUNDARY
CENTERLINE
EDGE OF PAVEMENT
EXISTING FENCE
EXISTING RETAINING WALL
PROPOSED FENCE
PROPOSED STORM DRAIN
RETAINING WALL
STORM DRAIN MANHOLE
EXISTING POWER POLE
FIRE HYDRANT
STREET LIGHT
EXISTING SURVEY MONUMENT
PROPOSED SURVEY MONUMENT

ABBREVIATIONS

- AB AGGREGATE BASE
AC ASPHALT CONCRETE
BLDG BUILDING
BOW BACK OF WALK
CL CENTERLINE
CONC CONCRETE
DMA DRAINAGE MANAGEMENT AREA
EX EXISTING
FH FIRE HYDRANT
(P) PROPOSED
PX.XX PAD GRADE
PL PROPERTY LINE
R RADIUS
R.O.W. RIGHT OF WAY
RWX.X RETAINING WALL HEIGHT
SD STORM DRAIN
STA STATION
S/W SIDEWALK
TBR TO BE REMOVED
TC TOP OF CURB
TYP TYPICAL

SAN BENITO ENGINEERING
& SURVEYING, INC.
502 Monterey Street Hollister, California 95023
(831) 637-2763 FAX (831) 854-9581 email: info@sanbenitoeng.com



NO.	REVISIONS	DATE

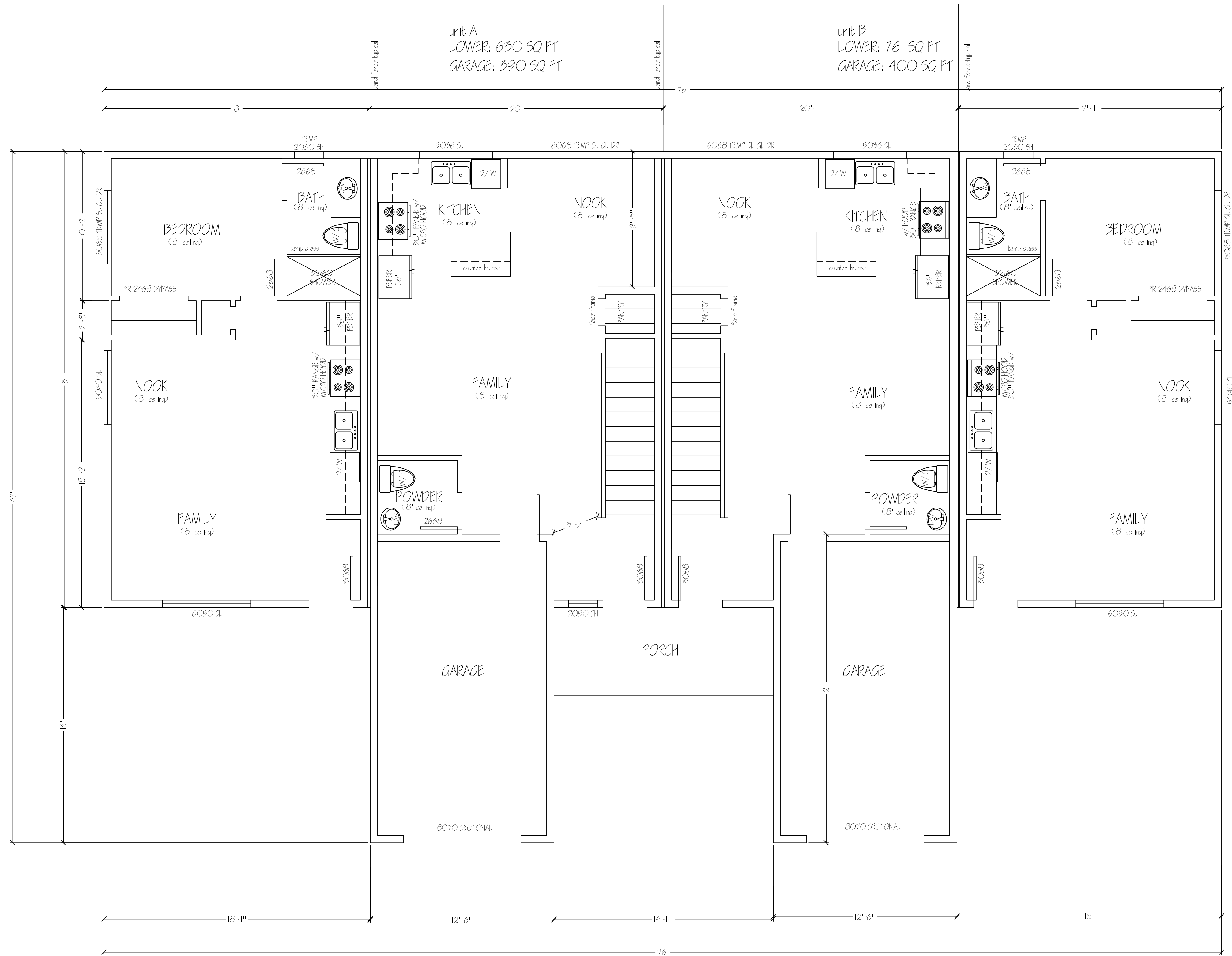
CITY OF HOLLISTER
APN 057-770-040
MEMORIAL & HERMOSA
SAN BENITO COUNTY, CALIFORNIA

SITE & ARCHITECTURAL

SITE PLAN

SCALE: 1" = 20'
DATE: 13 August 2020
JOB #: 119017
DWG: 119017TMM.dwg

SHEET: **C1**
19
OF SHEETS



ADU: 559 SQ FT

UNIT A: 566 SQ FT

unit A
UPPER: 618 SQ FT
GARAGE: 254 SQ FT

UNIT B: 569 SQ FT

unit B
UPPER: 620 sq ft
GARAGE: 254 SQ FT

ADU: 556 SQ FT

lower floor

LOWER FLOOR PLAN

SCALE 1/4" = 1'-0"

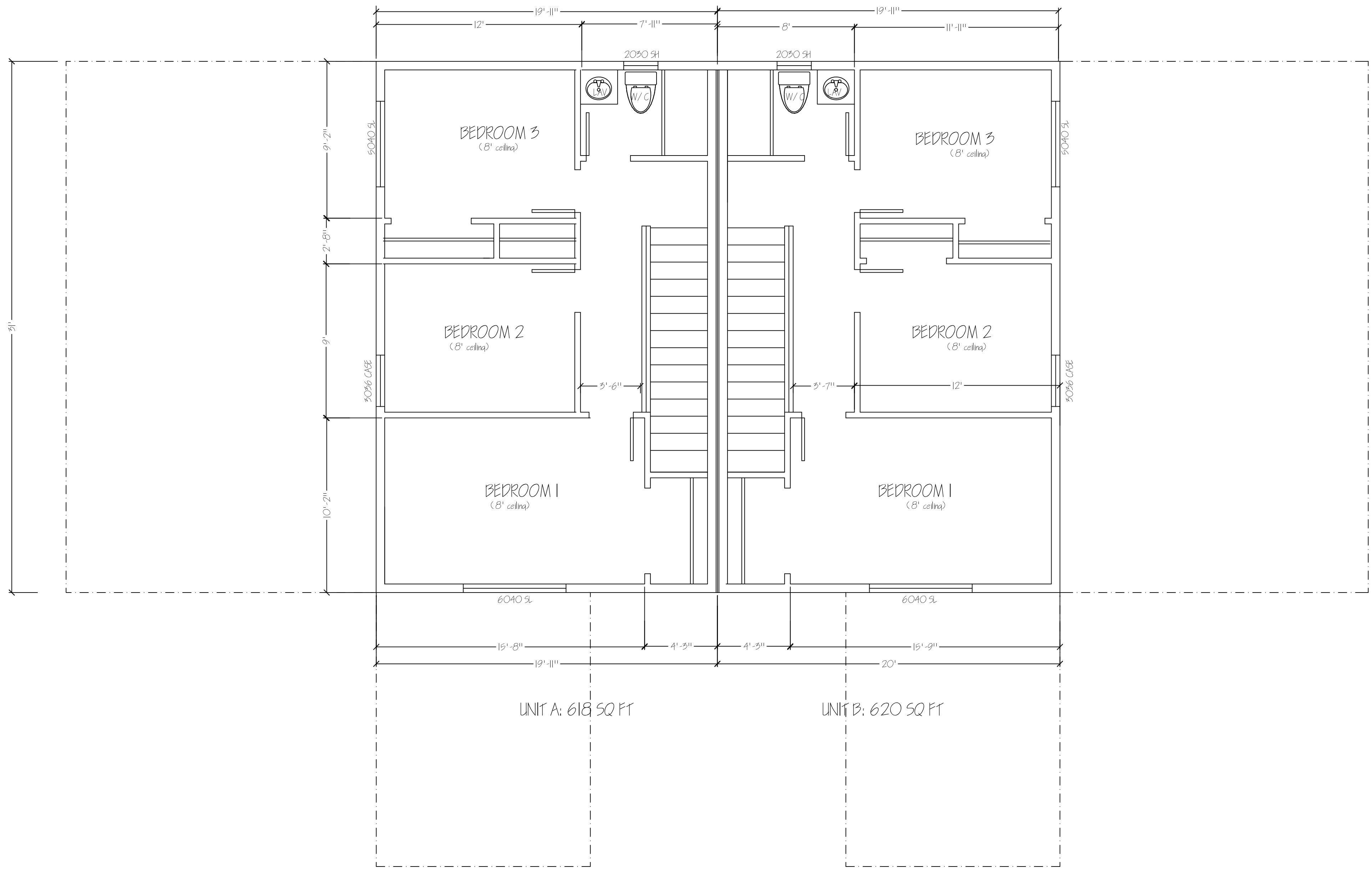
REVISIONS	BY

DESIGNS to a "TH", INC.
TAMMY JACKSON
P.O. BOX 1006076
ST. LOUIS, MO 63106
Phone: (636) 657-1076
Fax: (636) 654-1025

ANNOTTI LANDING

DUPLEX w/(2) ADU's

DRAWN TAMMY
CHECKED
DATE DECEMBER 2019
SCALE 1/4" = 1'-0"
SHEET D-2



upper floor

UPPER FLOOR PLAN

SCALE 1/4" = 1'-0"

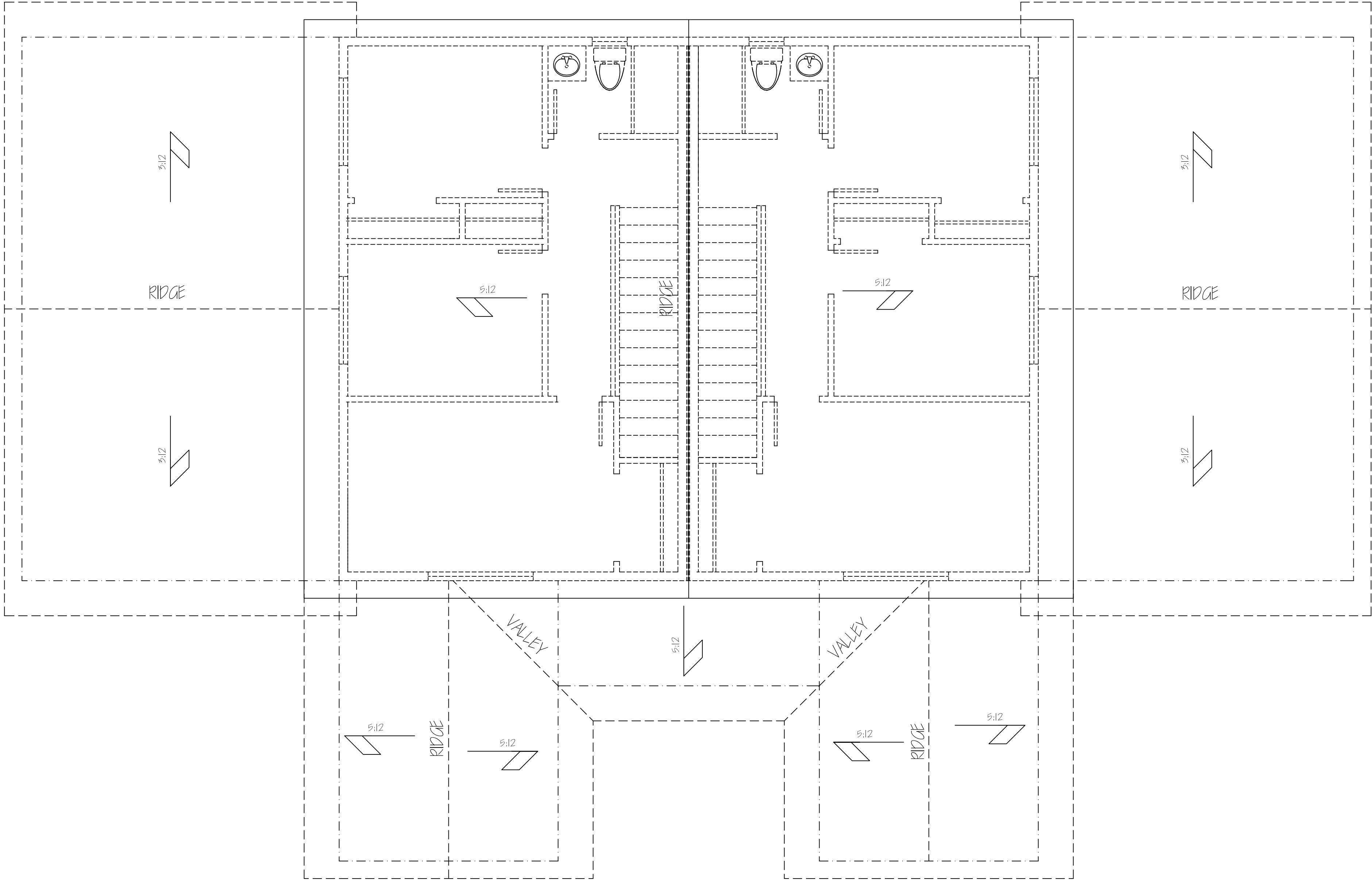
REVISIONS	BY

DESIGNS to a 11th, INC.
TAMMY JACKSON
P.O. BOX 1000
Pineville, NC 28134
Phone: (888) 687-1075
Fax: (888) 687-1025

ANNOTTI LANDING

DUPLEX w/(2) ADU's

DRAWN TAMMY
CHECKED
DATE DECEMBER 2019
SCALE 1/4" = 1'-0"
SHEET D-3



ROOF PLAN

SCALE 1/4" = 1'-0"

REVISIONS	BY

DESIGNS to a "11", INC.

TAMMY JACKSON

P.O. BOX 100000

PHOENIX, AZ 85010

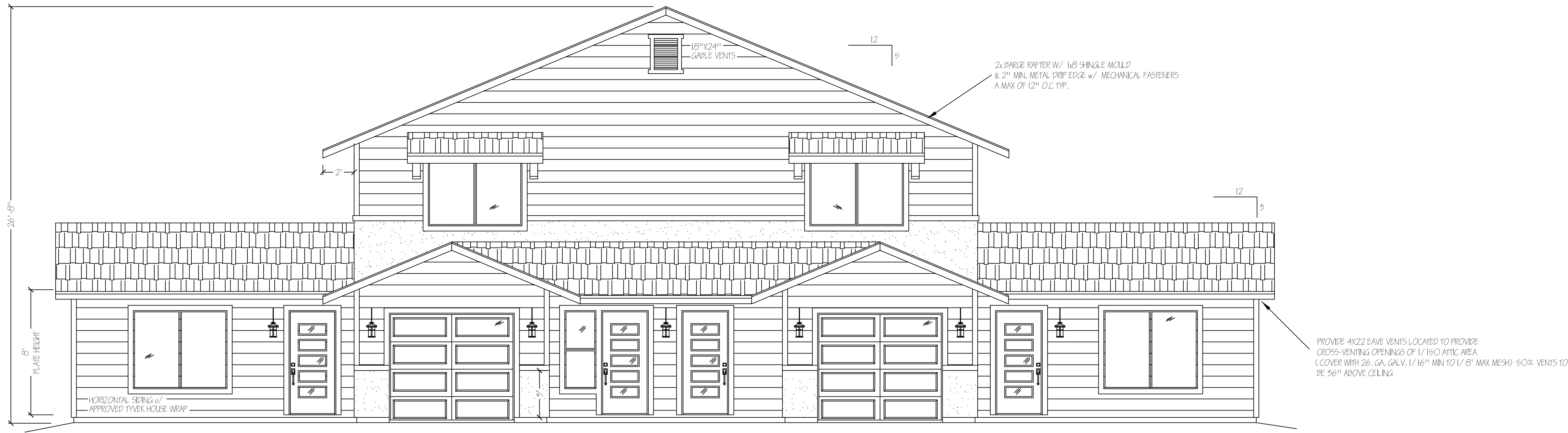
Phone: (604) 687-1075

Fax: (604) 687-1025

ANNOTTI LANDING

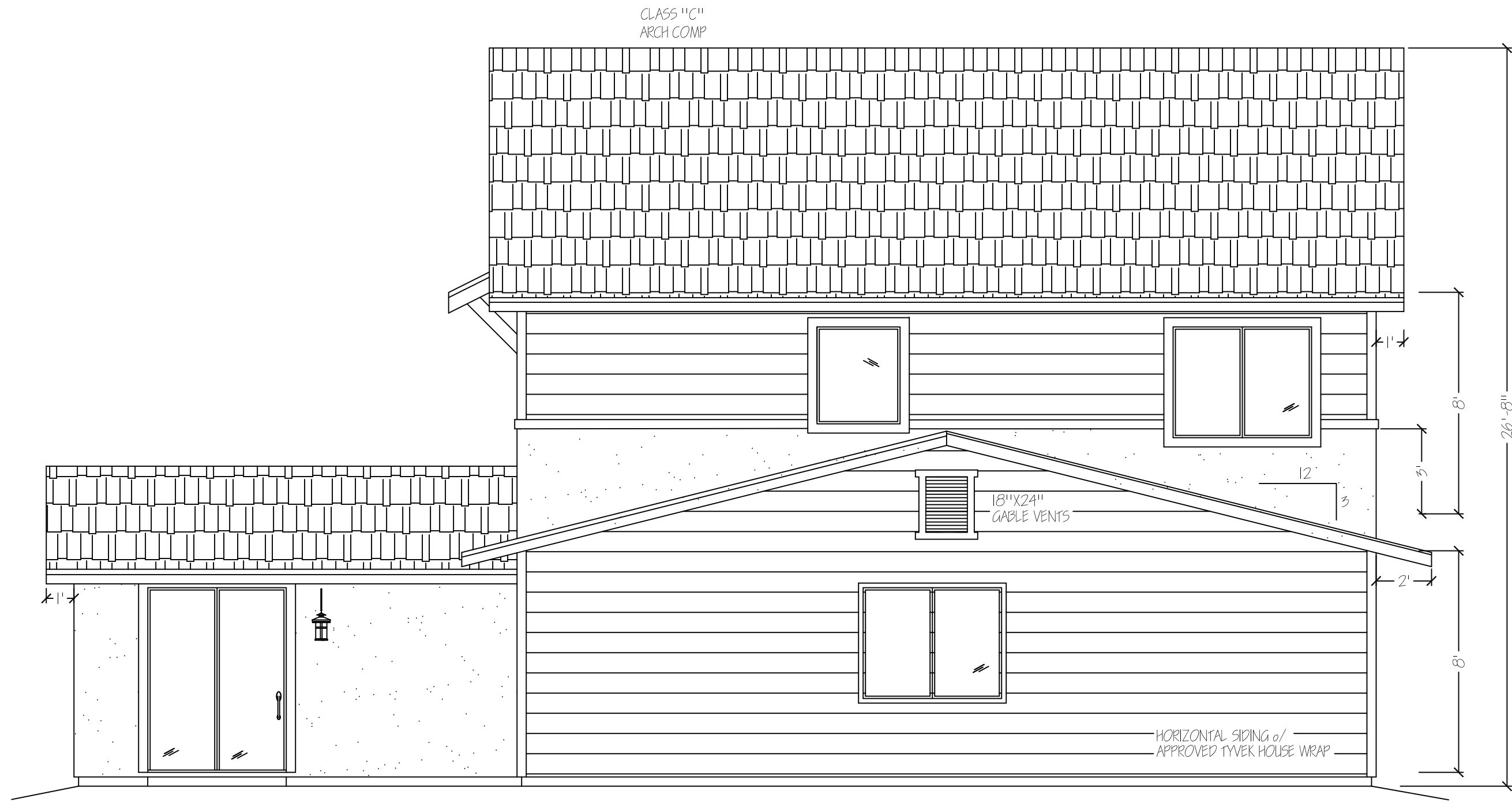
DUPLEX w/(2) ADU's

DRAWN	TAMMY
CHECKED	
DATE	DECEMBER 2019
SCALE	1/4" = 1'-0"
SHEET	D-4



FRONT VIEW

COLORS:
UPSTAIRS BODY: KELLY MOORE 9750-3 MOUNT TAMP
DOWNSTAIRS BODY: KELLY MOORE 9789-3 VILLAGE SQUARE
TRIM: KELLY MOORE 14 FROST



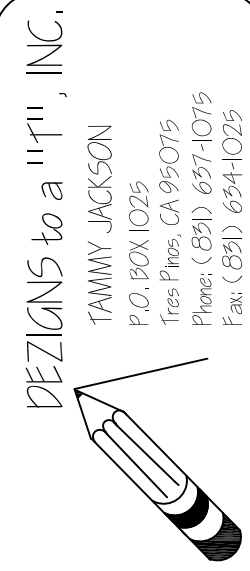
RIGHT VIEW

- ELEVATION NOTES:
1. STUCCO TO BE APPLIED WITH THREE COAT APPLICATION
 2. ROOF PITCH 9:12 & 9:12 AS NOTED w/ CLASS 1"C1" ARCH COMP
 3. UNDERLAYMENT FOR ASPHALT SHINGLES SHALL COMPLY w/ ASTM D226 TYPE I, ASTM D4869 TYPE I, II, III, or IV, ASTM D6797, AND SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION
 3. OVERHANGS 24" w/ 12" @ GABLE ENDS
 4. FOR STUCCO, PROVIDE 2 - LAYERS OF GRADE 1"0" PAPER UNDER THE CEMENT PLASTER COVERING WHEN APPLIED OVER WOOD SHEATHING
 5. A WEEP SCREED SHALL BE PROVIDED @ THE FOUNDATION PLATE ON ALL EXTERIOR SLID WALLS, THE SCREED SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEEP SCREED SHALL BE AT LEAST 4" ABOVE THE EARTH AND 2" ABOVE PAVED AREAS--see detail w/s.
 6. STUCCO TO BE INSPECTED BETWEEN COATS
 7. ROOF SHEATHING: 1/2" RADIANT BARRIER C-D, C-C, or CDX PLY or OSB w/ Ed @ 6"12"
 8. ALL GABLE ENDS TO BE SHEATHED ON EXTERIOR SIDE w/ 1/2" RADIANT BARRIER CDX PLY or OSB PER TILE 24"5
 9. EXTERIOR WALL WATER PROTECTION & FLASHING PER IRC 709.11, 709.2, 709.3
 12. MINIMUM TYPE 50 FELT UNDERLAYMENT FOR CONC. TILE OR ARCH COMP SHINGLES
 13. FOR SIDING PROVIDE APPROVED TYVEK HOUSE WRAP BELOW FINISHED MATERIAL
TYVEK MUST COMPLY w/ ASTM D 226
 14. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS
ADDRESS SHALL BE PLAINLY VISIBLE & LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
ADDRESS NUMBERS SHALL BE MINIMUM FOUR OF 4" 1/2 INCH MIN STROKE WIDTH, AND MOUNTED ON A CONTRASTING BACKGROUND CLEARLY VISIBLE FROM THE STREET, WHERE ADDRESS CANNOT BE VIEWED FROM A PUBLIC WAY, A MONUMENT OR POLE SHALL BE USED
ADDRESS NUMBERS SHALL BE ILLUMINATED
 15. FLASHINGS SHALL BE INSTALLED AT WALL & ROOF INTERSECTIONS, WHEREVER THERE IS A ROOF SLOPE OR DIRECTION & AROUND ROOF OPENINGS, A FLASHING SHALL BE INSTALLED TO DIVERT THE WATER AWAY FROM WHERE THE EAVE OF A SLOPED ROOF INTERSECTS A VERTICAL SIDEWALL
- CAL GREEN MANDATORY REQUIREMENTS LISTED ON SHEET GB1.

ELEVATIONS

SCALE 1/4" = 1'-0"

REVISIONS	BY



ANNOTTI LANDING

DUPLEX w/(2) ADU's

DRAWN
TAMMY
CHECKED

DATE
DECEMBER 2019
SCALE
1/4" = 1'-0"

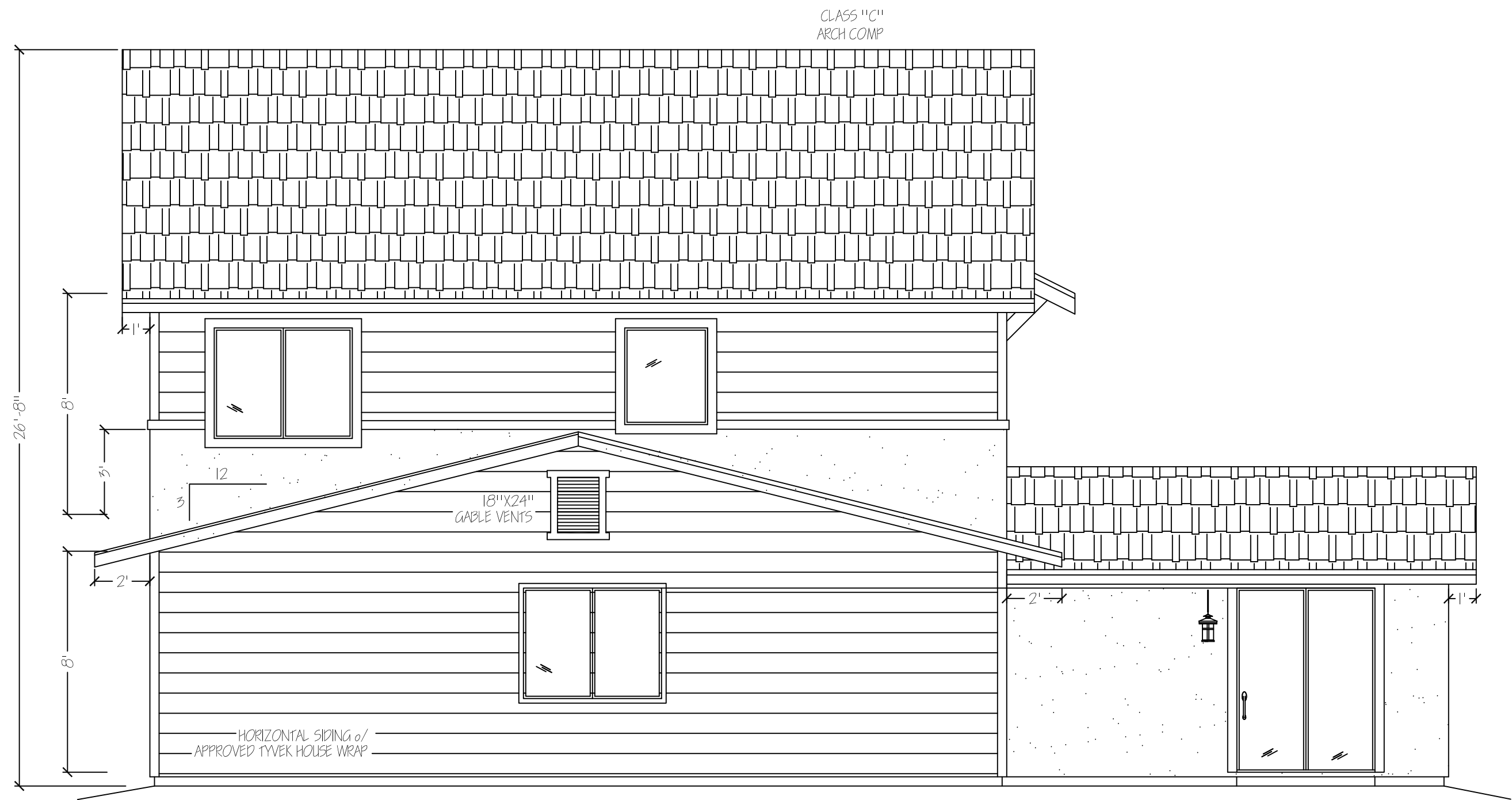
SHEET

D-5



REAR VIEW

COLORS:
UPSTAIRS BODY: KELLY MOORE 575Q-3 MOUNT TAMP
DOWNSTAIRS BODY: KELLY MOORE 57B9-3 VILLAGE SQUARE
TRIM: KELLY MOORE 14 PROST

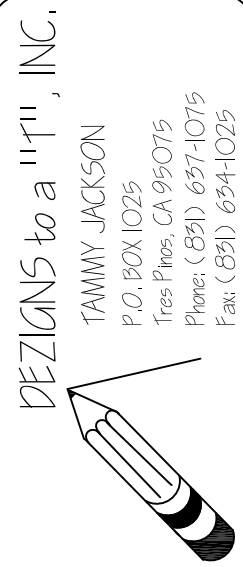


LEFT VIEW

- ELEVATION NOTES:
1. STUCCO TO BE APPLIED WITH THREE COAT APPLICATION.
 2. ROOF PITCH 5:12 & 3:12 AS NOTED w/ CLASS "C" ARCH COMP.
UNDERLAYMENT FOR ASPHALT SHINGLES SHALL COMPLY w/ ASTM D226 TYPE I; ASTM D4869 TYPE I, II, III, or IV;
ASTM D6757, AND SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION.
 3. OVERHANGS 24" w/ 12" @ GABLE ENDS
 4. FOR STUCCO, PROVIDE 2 - LAYERS OF GRADE "10" PAPER UNDER THE CEMENT PLASTER COVERING WHEN APPLIED OVER WOOD SHEATHING.
 5. A WEEP SCREED SHALL BE PROVIDED @ THE FOUNDATION PLATE ON ALL EXTERIOR STUD WALLS. THE SCREED SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEEP SCREED SHALL BE AT LEAST 4" ABOVE THE EARTH AND 2" ABOVE PAVED AREAS-see detail ws.
 6. STUCCO TO BE INSPECTED BETWEEN COATS
 7. ROOF SHEATHING: 1/2" RADIANT BARRIER C-D, C-C, or CDX PLY or OSB w/ Bd @ 6" 12"
 8. ALL GABLE ENDS TO BE SHEATHED ON EXTERIOR SIDE w/ 1/2" RADIANT BARRIER CDX PLY or OSB PER TITLE 24'S
 9. EXTERIOR WALL WATER PROTECTION & FLASHING PER CRE 705.11, 8705.2, 8705.3
 10. MINIMUM TYPE 30 FELT UNDERLAYMENT FOR CONC. TILE OR ARCH COMP SHINGLES
 11. FOR SIDING PROVIDE APPROVED TYVEK HOUSE WRAP BELOW FINISHED MATERIAL.
TYVEK MUST COMPLY w/ ASTM D 226
 12. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS
ADDRESS SHALL BE PLAINLY VISIBLE & LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
ADDRESS NUMBERS SHALL BE MINIMUM FOUR(4) 1/2 INCH MIN STROKE WIDTH, AND MOUNTED ON A CONTRASTING BACKGROUND CLEARLY VISIBLE FROM THE STREET, WHERE ADDRESS CANNOT BE VIEWED FROM A PUBLIC WAY, A MONUMENT OR POLE SHALL BE USED
ADDRESS NUMBERS SHALL BE ILLUMINATED
 13. FLASHINGS SHALL BE INSTALLED AT WALL & ROOF INTERSECTIONS, WHEREVER THERE IS A ROOF SLOPE OR DIRECTION & AROUND ROOF OPENINGS. A FLASHING SHALL BE INSTALLED TO DIVERT THE WATER AWAY FROM WHERE THE EAVE OF A SLOPED ROOF INTERSECTS A VERTICAL SIDEWALL

CAL GREEN MANDATORY REQUIREMENTS LISTED ON SHEET 061

REVISIONS	BY



ANNOTTI LANDING

DUPLEX w/(2) ADU'S

DRAWN
TAMMY
CHECKED

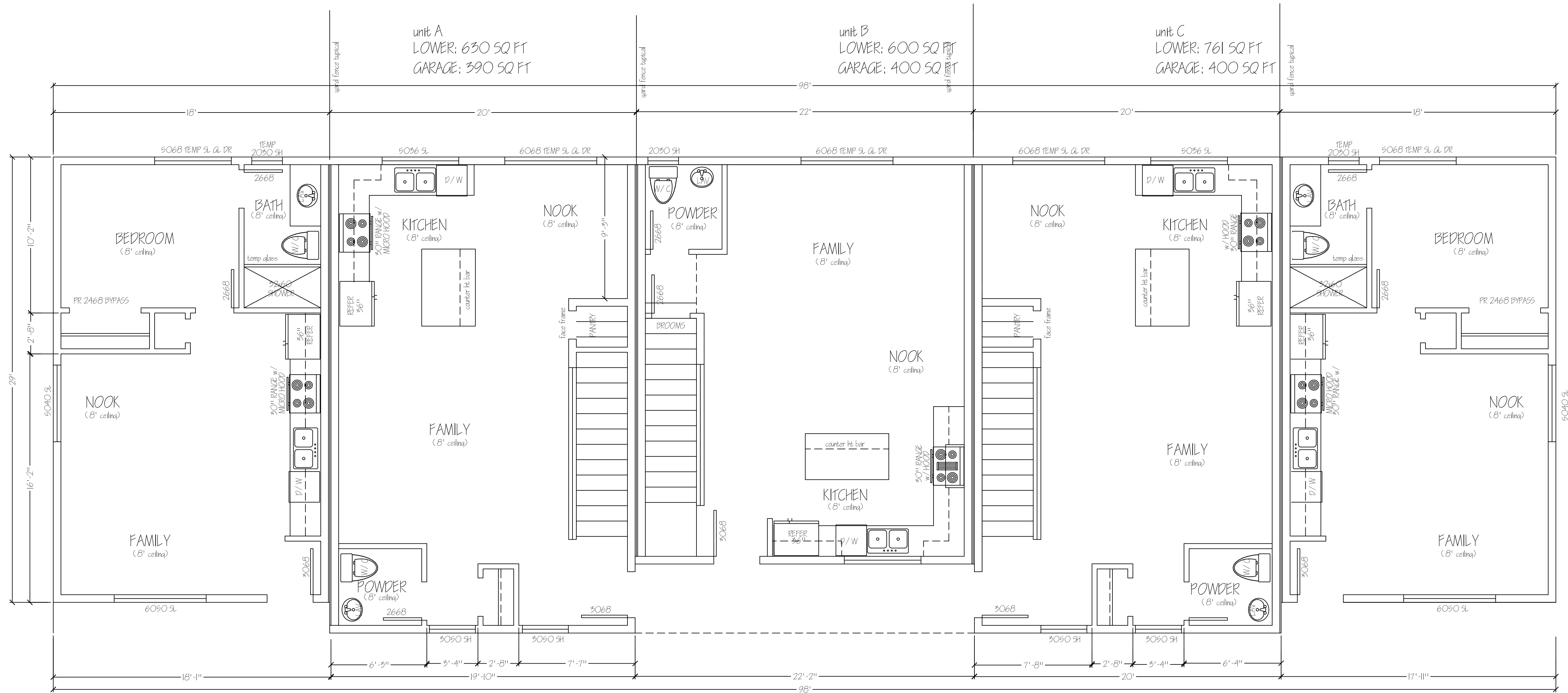
DATE
DECEMBER 2019
SCALE
1/4" = 1'-0"

SHEET

D-6

ELEVATIONS

SCALE 1/4" = 1'-0"



ADU: 523 SQ FT

UNIT A-lower: 618 SQ FT

UNIT B-lower: 582 SQ FT

UNIT C-lower: 623 SQ FT

ADU: 520 SQ FT

lower floor

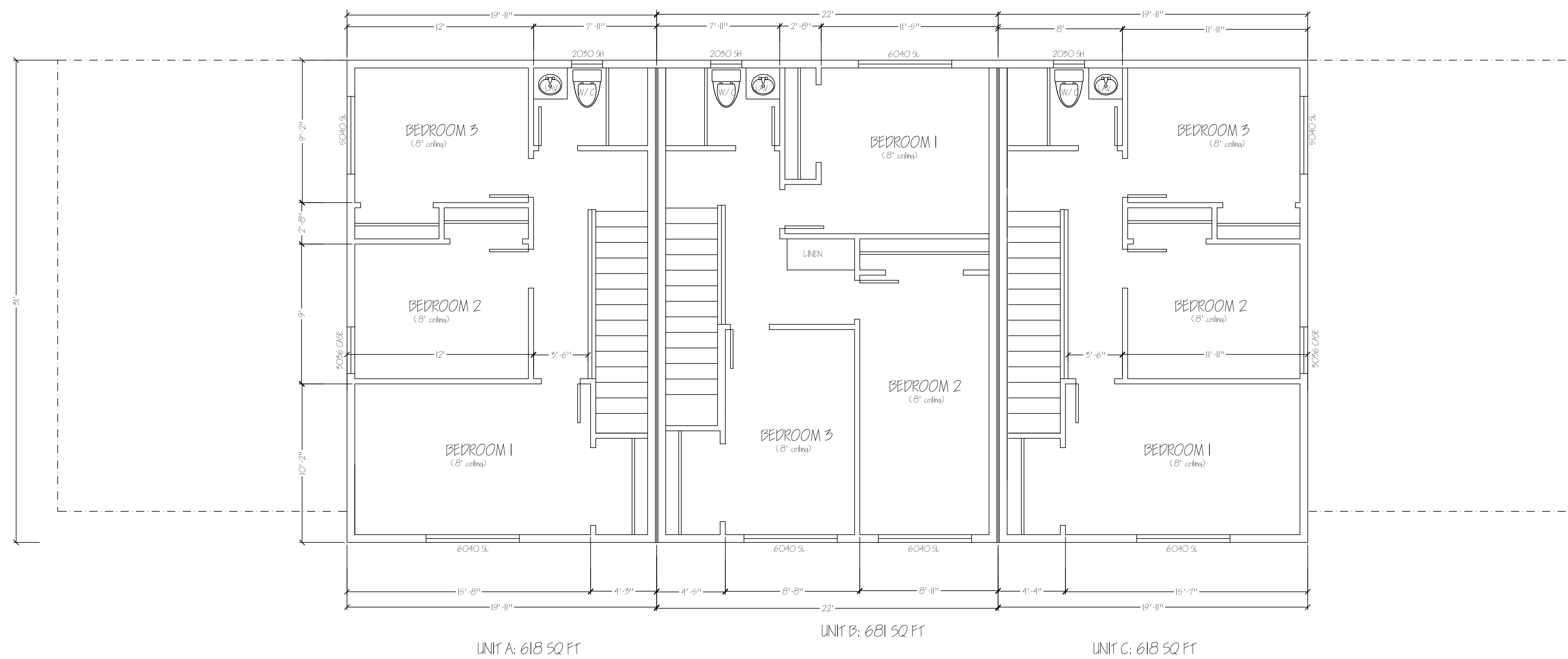
REVISIONS	BY

DESIGNS to a "m", INC.
TAMMY JACKSON
P.O. BOX 100960715
Pineville, LA 70454-0715
Phone: (850) 654-1075
Fax: (850) 654-1025

ANNOTTI LANDING

TRIPLEX w/(2) ADU's

DRAWN TAMMY
CHECKED
DATE DECEMBER 2019
SCALE 1/4" = 1'-0"
SHEET 1-2



UPPER FLOOR PLAN

SCALE 1/4" = 1'-0"

[illegible]

DESIGNS to a "T", INC.
TAMMY JACKSON
P.O. BOX 1025
1165 Pine, CA 95076
Phone: (650) 697-1075
Fax: (650) 694-1025

ANNOTTI LANDING

TRIPLEX w/(2) ADU's

DRAWN
TAMMY
CHECKED
DATE
DECEMBER 2019
SCALE
1/4" = 1'-0"
SHEET
T-3



DRAWN
TAMMY
CHECKED

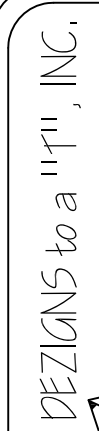
DATE
DECEMBER 2019

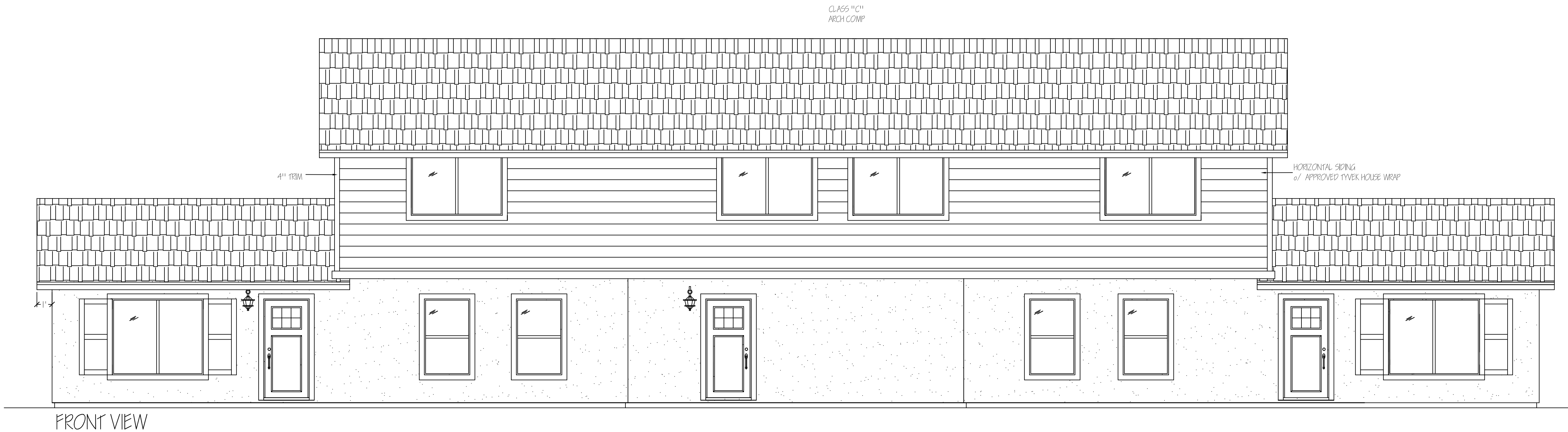
SCALE
1/4" = 1'-0"

SHEET

1-4

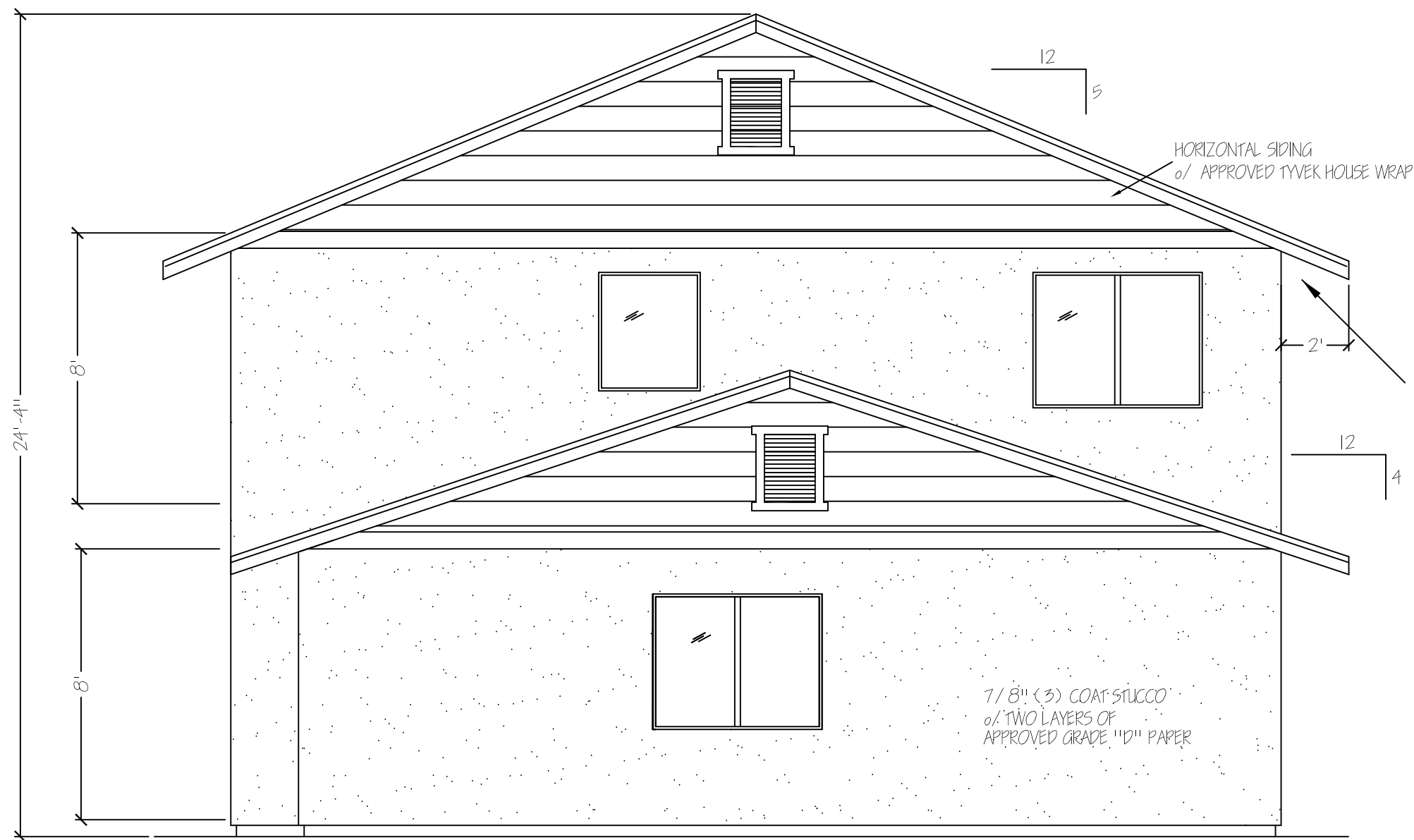
TRIPLEX w/(2) ADU's

REVISIONS



FRONT VIEW

COLORS:
UPSTAIRS BODY: KELLY MOORE 5750-3 MOUNT TAMP
DOWNSTAIRS BODY: KELLY MOORE 5785-3 VILLAGE SQUARE
TRIM: KELLY MOORE 14 FROST



RIGHT VIEW

- ELEVATION NOTES:
1. STUCCO TO BE APPLIED WITH THREE COAT APPLICATION
 2. ROOF PITCH 5/12 & 4/12 AS NOTED w/ CLASS "C" ARCH COMP
 3. UNDERLAYMENT FOR ASPHALT SHINGLES SHALL COMPLY w/ ASTM D226 TYPE I, ASTM D4869 TYPE I, II, III, or IV; ASTM D6757, AND SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION
 4. OVERHANGS 24" w/ 12" @ GABLE ENDS
 5. FOR STUCCO, PROVIDE 2 - LAYERS OF GRADE "10" PAPER UNDER THE CEMENT PLASTER COVERING WHEN APPLIED OVER WOOD SHEATHING
 6. A WEEP SCREED SHALL BE PROVIDED @ THE FOUNDATION PLATE ON ALL EXTERIOR STUD WALLS. THE SCREED SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEEP SCREED SHALL BE AT LEAST 4" ABOVE THE EARTH AND 2" ABOVE PAVED AREAS-see detail ws.
 7. STUCCO TO BE INSPECTED BETWEEN COATS
 8. ROOF SHEATHING: 1/2" RADIANT BARRIER C-D, C-C, or CDX PLY or OSB w/ 8d @ 6" 12"
 9. ALL GABLE ENDS TO BE SHEATHED ON EXTERIOR SIDE w/ 1/2" RADIANT BARRIER CDX PLY or OSB PER TITLE 24'S
 10. EXTERIOR WALL WATER PROTECTION & FLASHING PER CRC 703.11, 7703.2, 7703.5
 11. MINIMUM TYPE 30 FELT UNDERLAYMENT FOR CONC. TILE OR ARCH COMP SHINGLES
 12. FOR SIDING PROVIDE APPROVED TYVEK HOUSE WRAP BELOW FINISHED MATERIAL
 13. TYVEK MUST COMPLY w/ ASTM D 226
 14. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS
 15. ADDRESS SHALL BE PLAINLY VISIBLE & LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS NUMBERS SHALL BE MINIMUM FOUR-F 4" 1/2 INCH MIN STROKE WIDTH, AND MOUNTED ON A CONTRASTING BACKGROUND CLEARLY VISIBLE FROM THE STREET, WHERE ADDRESS CANNOT BE VIEWED FROM A PUBLIC WAY, A MONUMENT OR POLE SHALL BE USED
 16. ADDRESS NUMBERS SHALL BE ILLUMINATED
 17. FLASHINGS SHALL BE INSTALLED AT WALL & ROOF INTERSECTIONS, WHEREVER THERE IS A ROOF SLOPE OR DIRECTION & AROUND ROOF OPENINGS. A FLASHING SHALL BE INSTALLED TO DIVERT THE WATER AWAY FROM WHERE THE EAVE OF A SLOPED ROOF INTERSECTS A VERTICAL SIDEWALL
- CAL. GREEN MANDATORY REQUIREMENTS LISTED ON SHEET 001

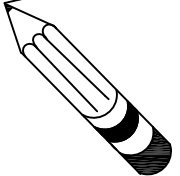
ELEVATIONS

SCALE 1/4" = 1'-0"

REVISIONS	BY

DESIGNS to a "I", INC.

TAMMY JACKSON
P.O. BOX 10068076
FARMINGTON, CT 06036
Phone: (860) 687-1076
Fax: (860) 687-1029



ANNOTTI LANDING

TRIPLEX w/(2) ADU's

DRAWN
TAMMY

CHECKED

DATE

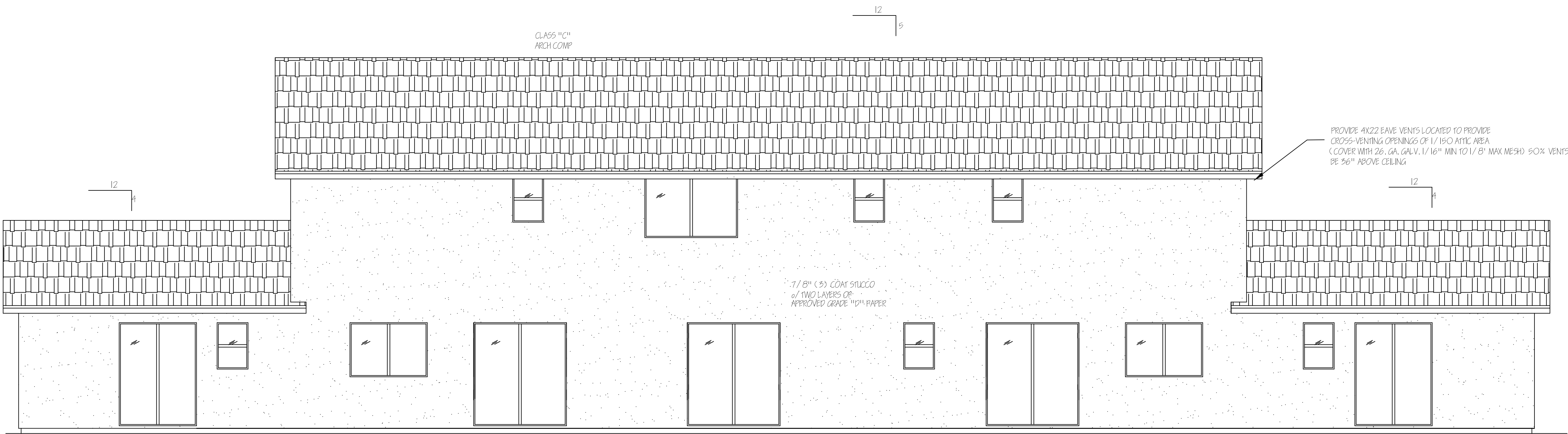
DECEMBER 2019

SCALE

1/4" = 1'-0"

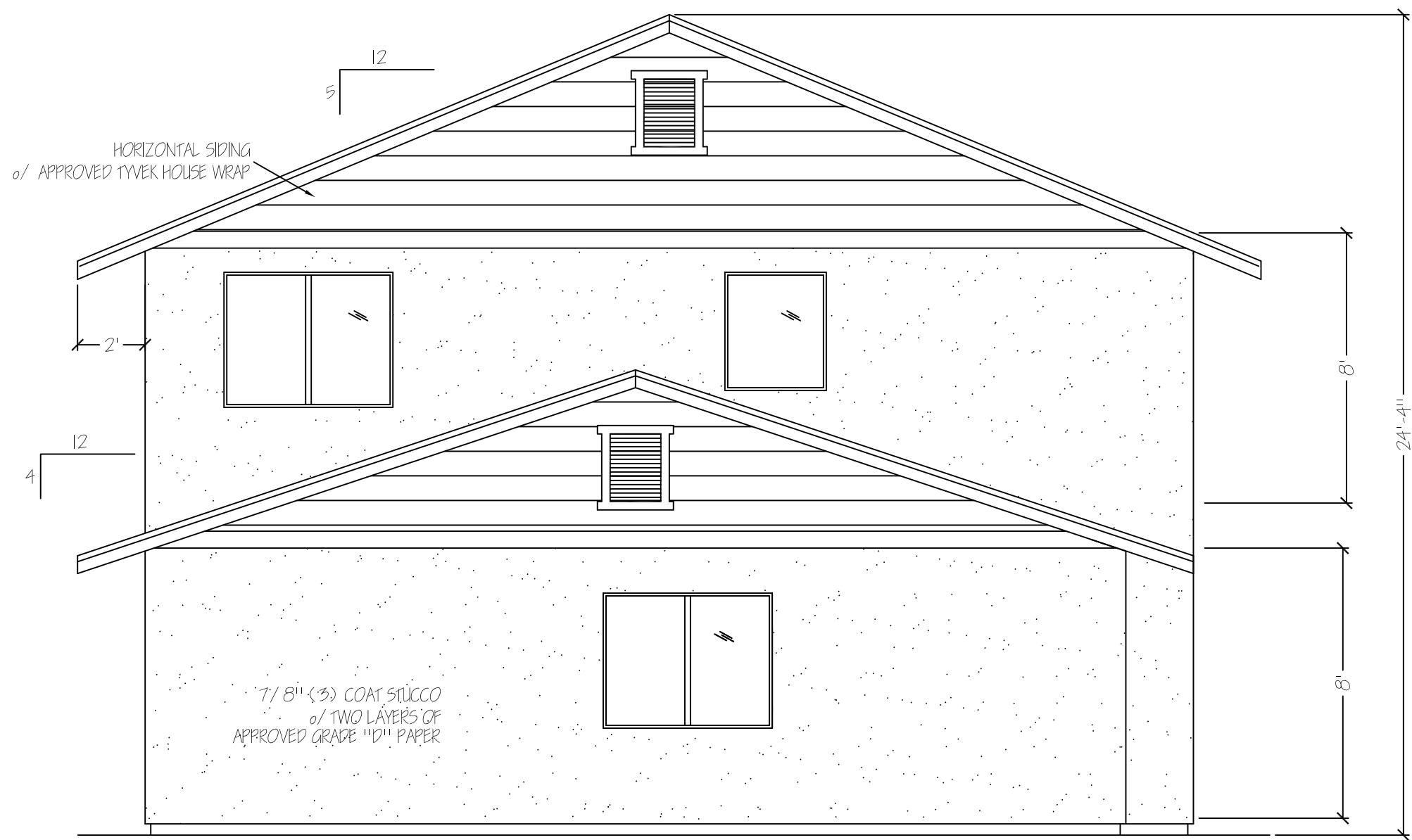
SHEET

T-5



REAR VIEW

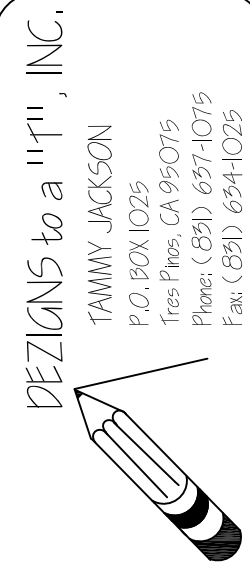
COLORS:
UPSTAIRS BODY: KELLY MOORE 5750-3 MOUNT TAMP
DOWNSTAIRS BODY: KELLY MOORE 5753-3 VILLAGE SQUARE
TRIM: KELLY MOORE 14 FROST



- ELEVATION NOTES:
1. STUCCO TO BE APPLIED WITH THREE COAT APPLICATION
 2. ROOF PITCH 5:12 & 4:12 AS NOTED w/ CLASS "C" ARCH COMP
 3. UNDERLAYMENT FOR ASPHALT SHINGLES SHALL COMPLY w/ ASTM D226 TYPE I; ASTM D4869 TYPE I, II, III, or IV; ASTM D6757, AND SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION
 4. OVERHANGS 24" w/ 12" @ GABLE ENDS
 5. FOR STUCCO, PROVIDE 2 - LAYERS OF GRADE "10" PAPER UNDER THE CEMENT PLASTER COVERING WHEN APPLIED OVER WOOD SHEATHING
 6. A WEEP SCREED SHALL BE PROVIDED @ THE FOUNDATION PLATE ON ALL EXTERIOR STUD WALLS. THE SCREED SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEEP SCREED SHALL BE AT LEAST 4" ABOVE THE EARTH AND 2" ABOVE PAVED AREAS-see detail w.s.
 7. STUCCO TO BE INSPECTED BETWEEN COATS
 8. ROOF SHEATHING: 1/2" RADIANT BARRIER C-D, C-C, or CDX PLY or OSB w/ 5d @ 6" x 12"
 9. ALL GABLE ENDS TO BE SHEATHED ON EXTERIOR SIDE w/ 1/2" RADIANT BARRIER CDX PLY or OSB PER TITLE 24'S
 10. EXTERIOR WALL WATER PROTECTION & FLASHING PER CBC 709.11, 709.2, 709.3
 11. MINIMUM TYPE 50 FELT UNDERLAYMENT FOR CONC. TILE OR ARCH COMP SHINGLES
 12. FOR SIDING PROVIDE APPROVED TYVEK HOUSE WRAP BELOW FINISHED MATERIAL
 13. TYVEK MUST COMPLY w/ ASTM D 226
 14. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS
ADDRESS SHALL BE PLAINLY VISIBLE & LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
ADDRESS NUMBERS SHALL BE MINIMUM FOURFE 4" 1/2 INCH MIN STROKE WIDTH, AND MOUNTED ON A CONTRASTING BACKGROUND CLEARLY VISIBLE FROM THE STREET, WHERE ADDRESS CANNOT BE VIEWED FROM A PUBLIC WAY, A MONUMENT OR POLE SHALL BE USED
ADDRESS NUMBERS SHALL BE ILLUMINATED
 15. FLASHINGS SHALL BE INSTALLED AT WALL & ROOF INTERSECTIONS, WHEREVER THERE IS A ROOF SLOPE OR DIRECTION & AROUND ROOF OPENINGS. A FLASHING SHALL BE INSTALLED TO DIVERT THE WATER AWAY FROM WHERE THE EAVE OF A SLOPED ROOF INTERSECTS A VERTICAL SIDEWALL

CAL. GREEN MANDATORY REQUIREMENTS LISTED ON SHEET 001

REVISIONS	BY



ANNOTTI LANDING

TRIPLEX w/(2) ADU's

DRAWN
TAMMY
CHECKED

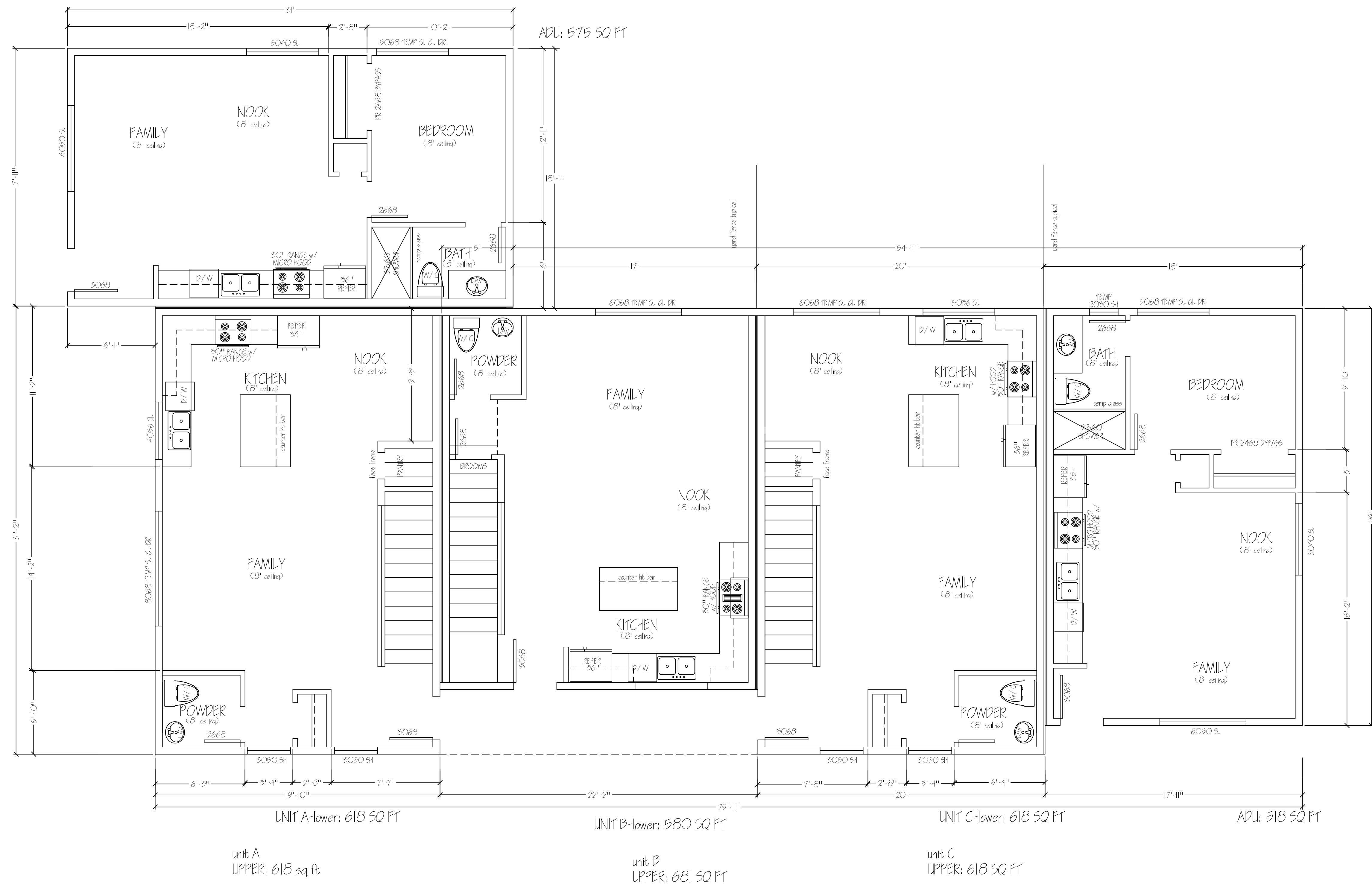
DATE
DECEMBER 2019
SCALE
1/4" = 1'-0"

SHEET

T-6

ELEVATIONS

SCALE 1/4" = 1'-0"



LOWER FLOOR PLAN

SCALE 1/4" = 1'-0"

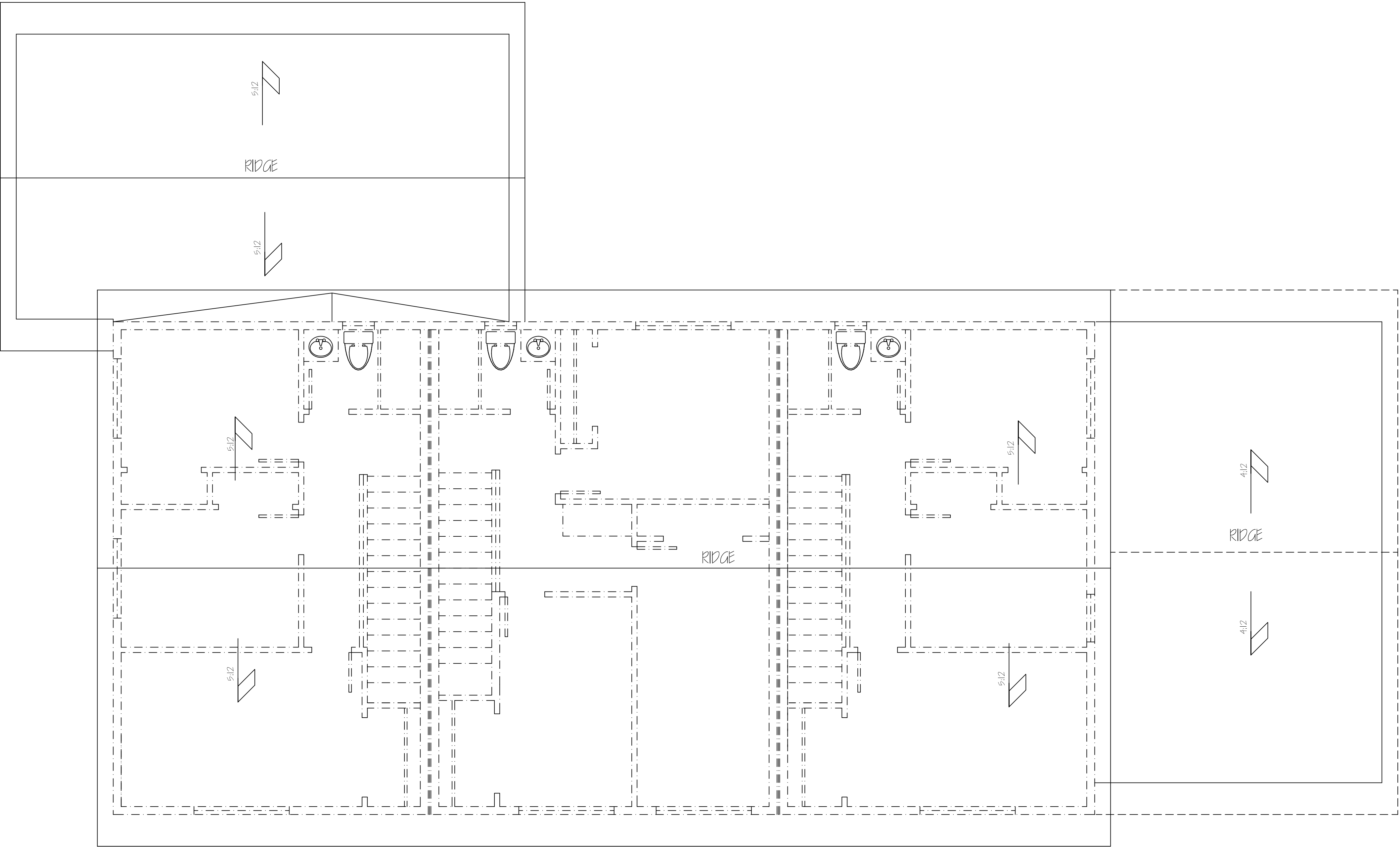
REVISIONS	BY

DESIGNS to a 11th, INC.
TAMMY JACKSON
P.O. BOX 1006076
Ft. Worth, TX 76160-06076
Phone: (817) 657-1076
Fax: (817) 654-1029

ANNOTTI LANDING

TRIPLEX w/(2) ADU's/LOT 6

DRAWN TAMMY
CHECKED
DATE DECEMBER 2019
SCALE 1/4" = 1'-0"
SHEET T6-2



ROOF PLAN

SCALE 1/4" = 1'-0"

REVISIONS	BY

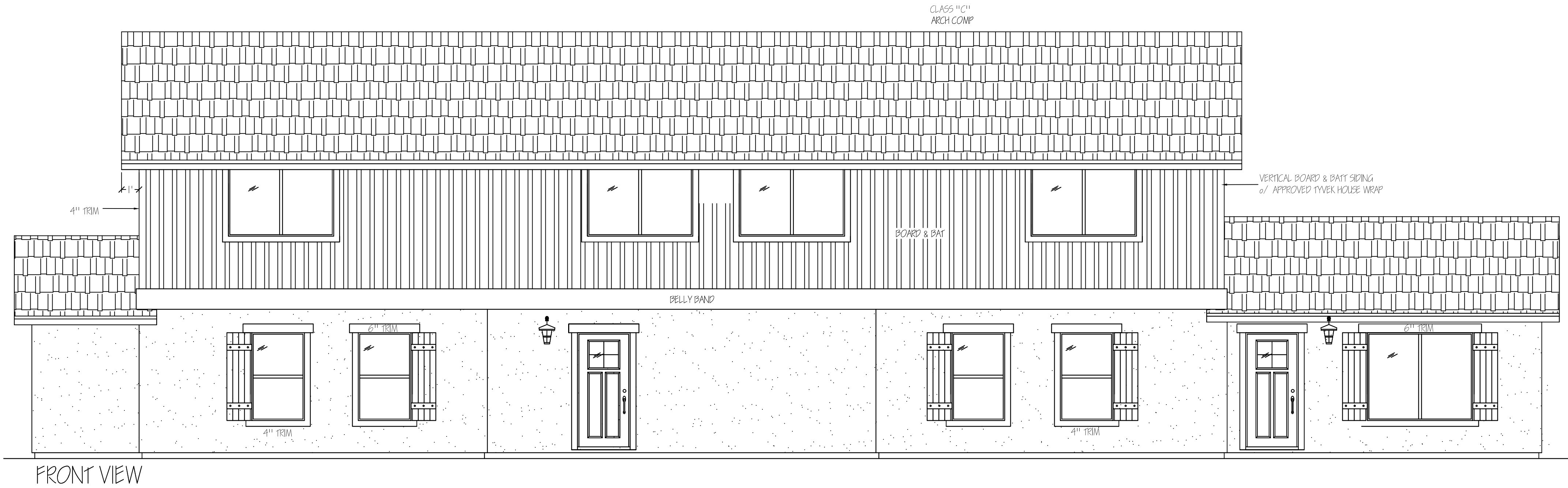
DESIGNS to a 11th, INC.
TAMMY JACKSON
P.O. BOX 1000
Piquette, MI 49667-0001
Phone: (888) 654-1075
Fax: (888) 654-1025



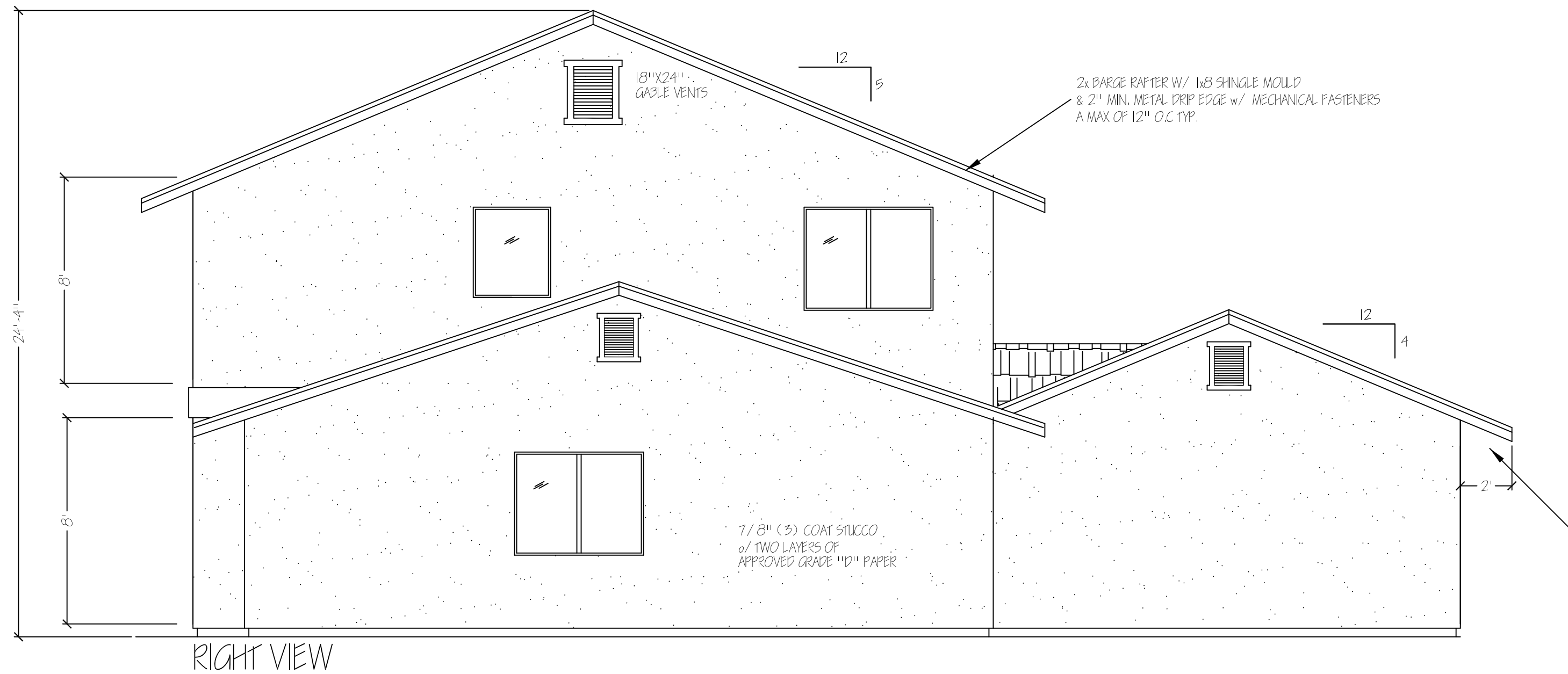
ANNOTTI LANDING

TRIPLEX w/(2) ADU's/LOT 6

DRAWN TAMMY
CHECKED
DATE DECEMBER 2019
SCALE 1/4" = 1'-0"
SHEET T6-4



COLORS:
UPSTAIRS BODY, KELLY MOORE 5750-3 MOUNT TAMP
DOWNSTAIRS BODY, KELLY MOORE 5783-3 VILLAGE SQUARE
TRIM, KELLY MOORE 14 PROST



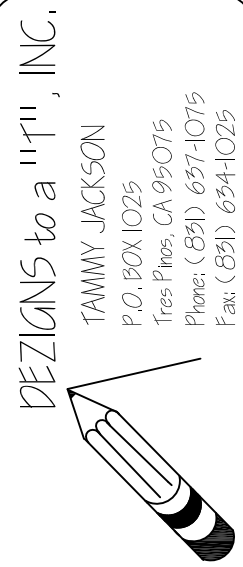
- ELEVATION NOTES:
1. STUCCO TO BE APPLIED WITH THREE COAT APPLICATION
 2. ROOF PITCH 5/12 & 4/12 AS NOTED w/ CLASS 11C1 ARCH COMP
UNDERLAYMENT FOR ASPHALT SHINGLES SHALL COMPLY w/ ASTM D226 TYPE I, ASTM D4869 TYPE I, II, III, or IV;
ASTM D6757, AND SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION
 3. OVERHANGS 24" w/ 12" @ GABLE ENDS
 4. FOR STUCCO, PROVIDE 2 - LAYERS OF GRADE 110" PAPER UNDER THE CEMENT PLASTER COVERING WHEN APPLIED OVER WOOD SHEATHING
 5. A WEEP SCREED SHALL BE PROVIDED @ THE FOUNDATION PLANE ON ALL EXTERIOR STUD WALLS. THE SCREED SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEEP SCREED SHALL BE AT LEAST 4" ABOVE THE EARTH AND 2" ABOVE PAVED AREAS--see detail w.s.
 6. STUCCO TO BE INSPECTED BETWEEN COATS
 7. ROOF SHEATHING: 1/2" RADIANT BARRIER C-D, C-C, or CDX PLY or OSB w/ 8d @ 6" 12"
 8. ALL GABLE ENDS TO BE SHEATHED ON EXTERIOR SIDE w/ 1/2" RADIANT BARRIER CDX PLY or OSB PER TITLE 2415
 9. EXTERIOR WALL WATER PROTECTION & FLASHING PER CRC 709.11, R709.2, R709.8
 12. MINIMUM TYPE 30 FELT UNDERLAYMENT FOR CONC. TILE OR ARCH COMP SHINGLES
 13. FOR SIDING PROVIDE APPROVED TYVEK HOUSE WRAP BELOW FINISHED MATERIAL
TYVEK MUST COMPLY w/ ASTM D 226
 14. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS
ADDRESS SHALL BE PLAINLY VISIBLE & LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
ADDRESS NUMBERS SHALL BE MINIMUM FOUR-4" 1/2 INCH MIN STROKE WIDTH, AND MOUNTED ON A CONTRASTING BACKGROUND CLEARLY VISIBLE FROM THE STREET. WHERE ADDRESS CANNOT BE VIEWED FROM A PUBLIC WAY, A MONUMENT OR POLE SHALL BE USED
ADDRESS NUMBERS SHALL BE ILLUMINATED
 15. FLASHINGS SHALL BE INSTALLED AT WALL & ROOF INTERSECTIONS, WHEREVER THERE IS A ROOF SLOPE OR DIRECTION & AROUND ROOF OPENINGS. A FLASHING SHALL BE INSTALLED TO DIVERT THE WATER AWAY FROM WHERE THE EAVE OF A SLOPED ROOF INTERSECTS A VERTICAL SIDEWALL
- CAL GREEN MANDATORY REQUIREMENTS LISTED ON SHEET 08.1

PROVIDE 4X22 EAVE VENTS LOCATED TO PROVIDE CROSS-VENTING OPENINGS OF 1/150 AMFIC AREA
(COVER WITH 26 GA. GALV. 1/16" MIN TO 1/8" MAX MESH) 50% VENTS TO BE 36" ABOVE CEILING

ELEVATIONS

SCALE 1/4" = 1'-0"

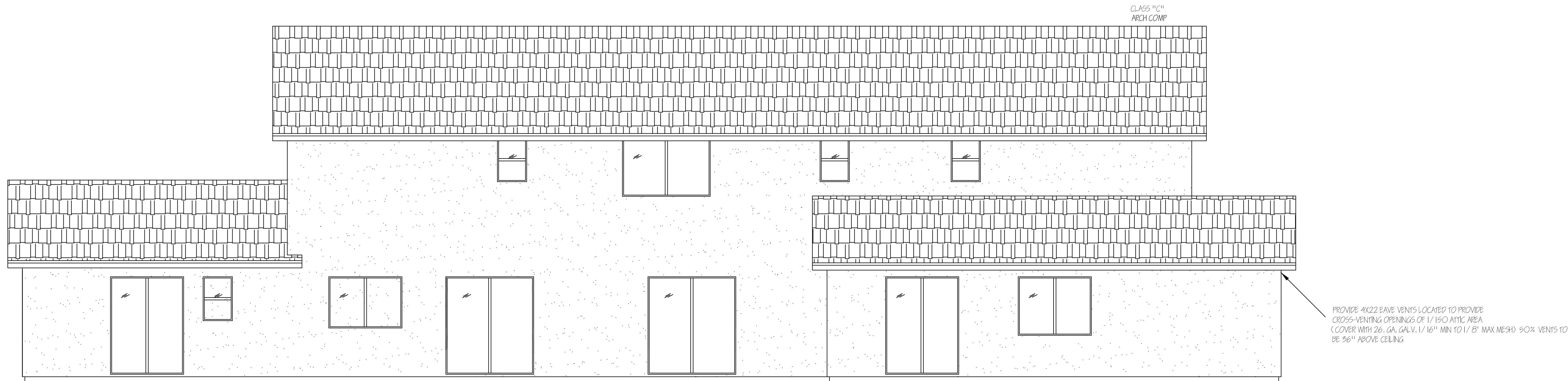
REVISIONS	BY



ANNOTTI LANDING

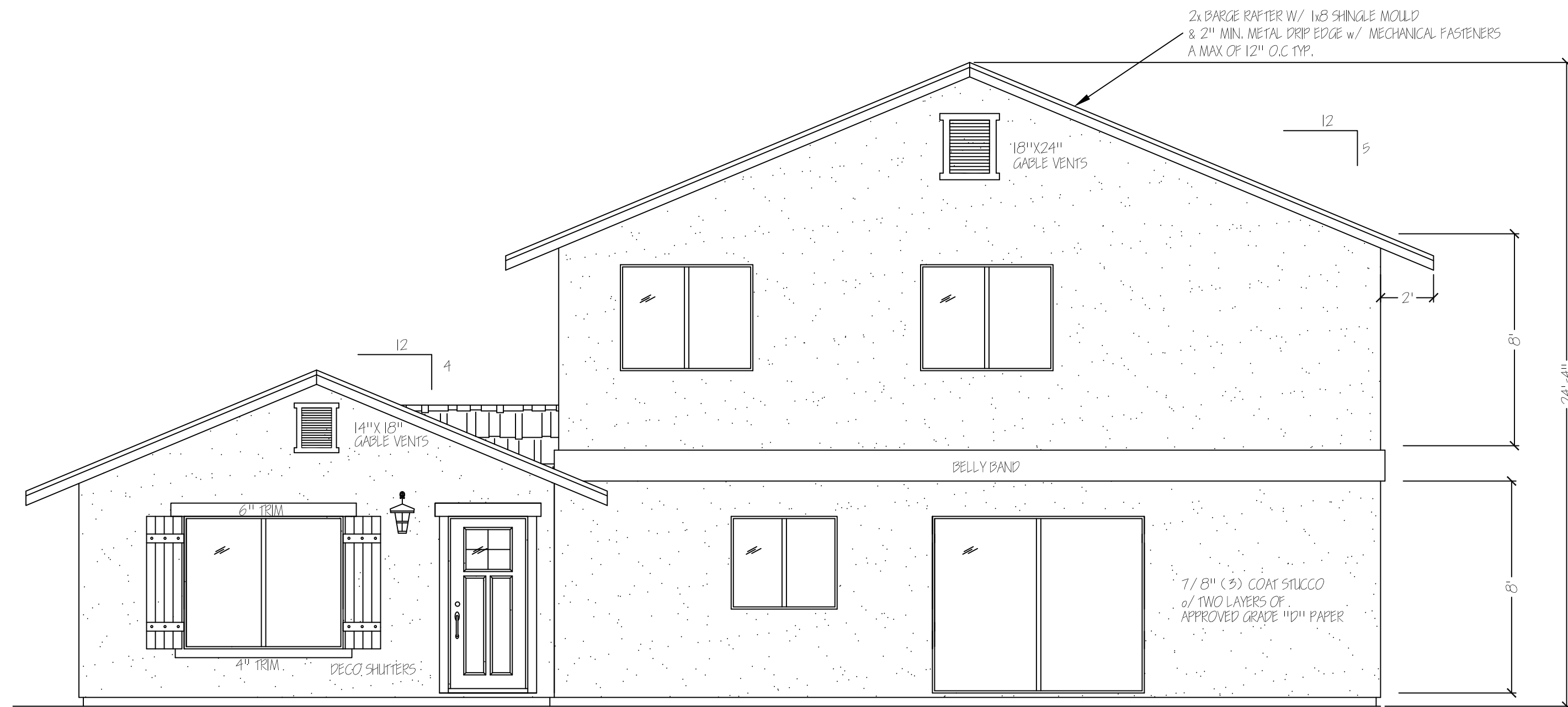
TRIPLEX w/(2) ADU's/LOT 6

DRAWN TAMMY
CHECKED
DATE DECEMBER 2019
SCALE 1/4" = 1'-0"
SHEET T6-5



REAR VIEW

COLORS:
UPSTAIRS BODY: KELLY MOORE 5750-2 MOUNT TAMP
DOWNSTAIRS BODY: KELLY MOORE 5789-3 VILLAGE SQUARE
TRIM: KELLY MOORE 14 PROST



LEFT VIEW

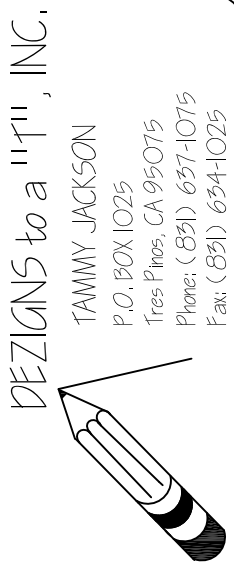
- ELEVATION NOTES:
1. STUCCO TO BE APPLIED WITH THREE COAT APPLICATION
 2. ROOF PITCH 5:12 & 4:12 AS NOTED w/ CLASS "C" ARCH COMP
UNDERLAYMENT FOR ASPHALT SHINGLES SHALL COMPLY w/ ASTM D226 TYPE I; ASTM D4869 TYPE I, II, III, or IV;
ASTM D6757, AND SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION
 3. OVERHANGS 24" w/ 12" @ GABLE ENDS
 4. FOR STUCCO, PROVIDE 2 - LAYERS OF GRADE "D" PAPER UNDER THE CEMENT PLASTER COVERING WHEN APPLIED OVER WOOD SHEATHING
 5. A WEEP SCREED SHALL BE PROVIDED @ THE FOUNDATION PLATE ON ALL EXTERIOR STUD WALLS. THE SCREED SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEEP SCREED SHALL BE AT LEAST 4" ABOVE THE EARTH AND 2" ABOVE PAVED AREAS-see detail ws.
 6. STUCCO TO BE INSPECTED BETWEEN COATS
 7. ROOF SHEATHING: 1/2" RADIANT BARRIER C-D, C-C, or CDX PLY or OSB w/ Bd @ 6" 12"
 8. ALL GABLE ENDS TO BE SHEATHED ON EXTERIOR SIDE w/ 1/2" RADIANT BARRIER CDX PLY or OSB PER TITLE 24'S
 9. EXTERIOR WALL WATER PROTECTION & FLASHING PER CRC 709.11, 7709.2, 7709.8
 12. MINIMUM TYPE 30 FELT UNDERLAYMENT FOR CONC. TILE OR ARCH COMP SHINGLES
 13. FOR SIDING PROVIDE APPROVED TYVEK HOUSE WRAP BELOW FINISHED MATERIAL
TYVEK MUST COMPLY w/ ASTM D 226
 14. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS
ADDRESS SHALL BE PLAINLY VISIBLE & LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
ADDRESS NUMBERS SHALL BE MINIMUM FOUR OF 4" 1/2 INCH MIN STROKE WIDTH, AND MOUNTED ON A CONTRASTING BACKGROUND CLEARLY VISIBLE FROM THE STREET. WHERE ADDRESS CANNOT BE VIEWED FROM A PUBLIC WAY, A MONUMENT OR POLE SHALL BE USED
ADDRESS NUMBERS SHALL BE ILLUMINATED
 15. FLASHINGS SHALL BE INSTALLED AT WALL & ROOF INTERSECTIONS, WHEREVER THERE IS A ROOF SLOPE OR DIRECTION & AROUND ROOF OPENINGS. A FLASHING SHALL BE INSTALLED TO DIVERT THE WATER AWAY FROM WHERE THE EAVE OF A SLOPED ROOF INTERSECTS A VERTICAL SIDEWALL

CAL. GREEN MANDATORY REQUIREMENTS LISTED ON SHEET GR1

ELEVATIONS

SCALE 1/4" = 1'-0"

REVISIONS	BY



ANNOTTI LANDING

TRIPLEX w/(2) ADU's/LOT 6

DRAWN
TAMMY

CHECKED

DATE
DECEMBER 2019

SCALE
1/4" = 1'-0"

SHEET

T6-6

DECIDUOUS TREES
Cercis occidentalis / Western Redbud
Lagerstroemia indica / Crape Myrtle

EVERGREEN TREES
Arbutus x 'Marina' / Arbutus Standard
Pyrus kawakamii / Evergreen Pear

STREET TREES
 As per city standards

ACCENT SHRUB
Chondropetalum tectorum / Cape Rush
Diets bicolor / Fortnight Lily
Phormium tenax 'Bronze Baby' / Bronze Baby New Zealand Flax
Phormium tenax 'Tom Thumb' / Dwarf Green Flax
Phormium tenax 'Yellow Wave' / New Zealand Flax

GRASSES
Festuca glauca / Blue Fescue
Nassella tenuissima / Texas Needle Grass

PERENNIALS
Achillea millefolium / Common Yarrow
Erigeron karvinskianus / Fleabane
Nepeta x 'Blue Beauty' / Blue Beauty Catmint

SHRUBS
Arbutus unedo / Strawberry Tree Shrub
Arctostaphylos densiflora 'Howard McMin' / Howard McMin Manzanita
Callistemon citrinus 'Little John' / Dwarf Bottle Brush
Correa pulchella / Australian Fuchsia
Dodonaea viscosa 'Purpurea' / Purple Leafed Hopseed Bush
Lantana montevidensis 'Yellow' / Trailing Lantana
Podocarpus macrophyllus / Yew Pine
Rhaphiolepis indica / Indian Hawthorn
Rosa x 'Flower Carpet White' / Rose

GROUND COVERS
Ceanothus griseus horizontalis / Carmel Creeper
Cotoneaster horizontalis / Rock Cotoneaster
Myoporum parvifolium / Trailing Myoporum

BIOSWALE
Carex divulsa / Berkeley Sedge

SCALE: 1" = 20'
DATE: 13 August 2020
JOB #: 119017
DWG: 119017CLP.dwg

SHEET: **L-1**
19

OF SHEETS

PLANNING COMMISSION RESOLUTION NO. PC 2020-15

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HOLLISTER APPROVING VESTING TENTATIVE MAP NO. 2020-1 TO SUBDIVIDE A 1.70 ACRE SITE INTO SIX (6) LOTS WHERE TWO OF THE LOTS (LOT 1 AND LOT 2) WITHIN THE DEVELOPMENT WOULD HAVE A RESIDENTIAL DUPLEX WITH TWO ATTACHED ACCESSORY DWELLING UNITS AND FOUR OF THE LOTS (LOT 3 THROUGH LOT 6) WITHIN THE DEVELOPMENT WOULD HAVE A RESIDENTIAL TRIPLEX WITH TWO ATTACHED ACCESSORY DWELLING UNITS FOR A TOTAL OF SIXTEEN (16) THREE BEDROOM MULTIFAMILY UNITS AND TWELVE (12) ONE BEDROOM ACCESSORY DWELLING UNITS IN THE MEDIUM DENSITY RESIDENTIAL ZONING DISTRICT LOCATED AT 2001 MEMORIAL DRIVE (ROGER MCDONALD)
APN 057-770-040**

WHEREAS, Roger McDonald, (“the applicant”) submitted an application to subdivide 1.70 acres into six (6) lots where two of the lots (lot 1 and lot 2) within the development would have a residential duplex with two attached accessory dwelling units and four of the lots (lot 3 through lot 6) within the development would have a residential triplex with two attached accessory dwelling units for a total of sixteen (16) three bedroom multifamily units and twelve (12) one bedroom accessory dwelling units, located at 2001 Memorial Drive, further identified as San Benito County Assessor’s Parcel Number 057-770-040; and,

WHEREAS, the City Planning Division received the applicant’s plans and forwarded the request to the Development Review Committee to assess the proposal for compliance with all relevant regulations; and,

WHEREAS, the Development Review Committee considerations were presented to the Planning Commission as part of the City staff report; and,

WHEREAS, under the provisions of Section 16.36 of Title 16 Subdivisions of the City of Hollister Municipal Code, the Planning Commission is charged with receiving, investigating and taking action on Major Subdivision applications; and,

WHEREAS, the Planning Commission held a duly noticed public hearing on August 27, 2020, to consider Vesting Tentative Map 2020-1, review the City staff report, and receive written and oral testimony for and against the proposal; and,

WHEREAS, after closing the public hearing, the Planning Commission deliberated and determined to grant the applicant’s request in accordance with Section 16.36.070 of the City of Hollister Municipal Code, and based on the facts as presented, and the code requirements as plainly stated; and,

NOW, THEREFORE IT IS RESOLVED, that the proposed application for Vesting Tentative Map 2020-1 is hereby approved with the following findings and conditions:

CEQA FINDINGS:

1. **Finding:** Approval of the project will not result in any significant effects relating to traffic, noise, air quality, or water quality and the site can be served adequately by all required utilities and public services.

Evidence: The project is exempt from CEQA, Section 15332, In-fill Development Projects, Class 32. The project is consistent with the general plan designation of medium density residential. The development of the site would occur within the city limits on a project site of less than five acres, and is substantially surrounded by other residential uses. The project site has no value as habitat for endangered rare or threatened species. Approval of the project will not result in any significant effects relating to traffic, noise, air quality, or water quality and the site can be adequately served by all required utilities and public services.

SUBDIVISION FINDINGS:

1. **Finding:** The project as proposed is consistent with the City of Hollister General Plan.

Evidence: The project site consists of one parcel identified as apn 057-770-040 located in the Medium Density Residential Zoning District. The project site has a land use designation of Medium Density Residential on the Hollister General Plan Land Use Plan. The subdivision would have sixteen (16) multifamily residential units on 1.70 acres for a density of 9.4 dwelling units per net acre which is consistent with the density allowed by the land use designation of eight to twelve units per net acre. In addition to the 16 multifamily residential dwelling units on the 1.70 acre site there would be 12 one bedroom accessory dwelling units that would be no larger than 50% of the size of the main residential unit that they would be attached to. Per Section 65852.2(a)(1)(C) of the California Government Code accessory dwelling units do not exceed the allowed density for the lot upon which the accessory dwelling unit is located, and the accessory dwelling units are a residential use that is consistent with the existing general plan and zoning designation for the lot.

2. **Finding:** The project meets the criteria of the City Zoning Ordinance and the City Subdivision Ordinance.

Evidence: The project subdivision, as submitted, along with the proposed conditions of approval, demonstrates that the application complies with Chapter 16.20 Design Standards and Chapter 17.04 Residential Zoning districts of the Hollister Municipal Code.

3. **Finding:** The design of the subdivision proposed by the tentative parcel map will not cause substantial environmental damage or result in any significant environmental effects.

***Evidence:** The project is exempt from CEQA, Section 15332, In-fill Development Projects, Class 32. The project is consistent with the general plan designation of medium density residential as well as the zoning designation of medium density residential. The development of the site would occur within the city limits on a project site of less than five acres, and is substantially surrounded by other residential uses. The project site has no value as habitat for endangered rare or threatened species. Approval of the project will not result in any significant effects relating to traffic, noise, air quality, or water quality and the site can be adequately served by all required utilities and public services.*

4. **Finding:** The proposed project will not be detrimental to the health, safety and welfare of persons residing or working in the neighborhood or to the general welfare of the City.

***Evidence:** The evidence supports this finding as represented by the development plans, City prepared staff report and the proposed conditions of approval.*

CONDITIONS OF APPROVAL

1. This application approval is for the Vesting Tentative Map 2020-1 submitted by San Benito Engineering & Surveying, Inc. This approval expires on August 27, 2022, unless the City grants an extension or an extension is granted under a provision of the Subdivision Map Act. For an efficient plan review period, the applicant shall submit a final map package for review to the City Engineer no later than February 27, 2022. This should allow sufficient review time to process the final map for recordation, prior to the expiration date of August 27, 2022. The final map must substantially comply with the approved Vesting Tentative Map. Failure to obtain an extension by the applicant either per an automatic extension of the Subdivision Map Act or by the City of Hollister shall result in the expiration of the Vesting Tentative Map. The Final Map shall be recorded prior to the expiration of the Vesting Tentative Map. Prior to the expiration of the Vesting Tentative Map the applicant shall enter into a subdivision Improvement Agreement with the City of Hollister and Record the Final Map.
2. Applicant shall defend, indemnify and hold harmless the City of Hollister, any agent, officer or employee of the City, against any claim, action or proceeding against the City of Hollister, its agents, officers or employees to attack, set aside, void, or annul an approval of the City Council, Planning Commission, advisory agency, or appeal board concerning this subdivision, which action is brought within the time period provided for in Section 66499.37. The City shall promptly notify the applicant of any claim, action or proceeding against the City and shall cooperate fully in the defense.

3. No entitlements that rely upon this approval shall be granted during the 15-day appeal period. In the case of an appeal being filed, no entitlements shall be granted until final action is taken on the appeal.
4. All improvements required shall be constructed in accordance with the City of Hollister Standard Plans and Specifications and receive approval by the City of Hollister Engineering Department. All applicable codes and ordinances, along with the recommendations of the City Engineer and any required Geologic Investigation, are to be adhered to, and all required fees shall be paid.
5. The final map shall be required to indicate all public and private rights-of-way for streets.
6. The final map shall be required to indicate all public and private easements necessary to serve the new parcel configurations. These easements shall include the following: utility, water, sewer, telephone, storm drainage, fiber optic conduit, cable, T.V., tree planting and maintenance.
7. The subdivider shall submit a final map package for review and approval by the City Engineer and City Council for the subdivision. The submittal shall be in complete form and accompanied by the traverse sheets, map checking fees and all other items required by Hollister Municipal Code Chapter 16.
8. Prior to filing of the final map for this project, the developer or applicant shall provide to the city proof that adequate water services exist to serve the project. Proof shall consist of documentation from the applicable water purveyor for domestic and fire suppression use. Further, the applicant or developer shall hold the City harmless in the event that services are not available prior to the filing of the final map or for the withholding of any building permit or withholding of any other public services or utilities as they relate to water availability.
9. All material necessary to present the subdivision to the City Council shall be submitted to the City Engineer at least two weeks prior to the Council meeting. The material shall be submitted in a form satisfactory to the City Engineer.
10. The subdivider shall submit three prints of the approved Vesting Tentative Map to each of the following utilities: PG&E, Pacific Bell, AT&T, and Charter Cable. The subdivider shall subsequently provide the City Engineer with each utility's easement needs as part of the initial submittal.
11. **Right of Way Improvements:** The applicant shall dedicate, improve, and guarantee by bond full rights-of-way for the following road improvements as shown on the approved Site and Architectural Plan submittal, including but not limited to sanitary and storm

sewers, gas, electrical, telephone, cable TV, fiber optic conduits, and water lines; and all other improvements necessary to bring the following rights-of-way into full conformance with all applicable City standards. All support documentation including but not limited to a sewer and water line grid and water sampling device for water analysis at opposite ends of the project site to avoid using water hydrants for water analysis and sewer shall be provided to the City Engineer concurrent with the first submittal of the final map or prior to recordation.

- a. **Memorial Drive Connection to Hermosa Way:** The existing south terminus of Memorial Drive shall extend and loop onto the existing south terminus of Hermosa Way. The developer shall construct road improvements for a sixty (60) foot right-of-way width with a forty (40) foot curb to curb width. The road, along the frontage to the south and north, shall have full road improvements, including, but not limited to sidewalk, curb, gutter, lighting, undergrounding of any existing overhead utilities, irrigation, and landscaping, as well as, any additional improvements as determined by the City Engineer. All improvements shall adhere to Americans with Disabilities Act requirements.
12. Temporary maintenance and operation of utilities: The subdivider shall pay for all maintenance and operation of all utilities and improvements from the time of installation until acceptance of the subdivision improvements.
13. Noise during construction. Construction activities on the project site must employ noise suppression devices and techniques and shall be limited to the hours of 7:00 a.m. to 6:00p.m. Monday through Friday and 8:00 a.m. to 6:00 p.m. on Saturdays. No construction activities shall take place on Sundays. No Construction, Landscape Maintenance, or Grounds Maintenance activities shall occur on federal holidays. Construction equipment and activities shall use noise suppression devices and techniques.
14. Street Names. Prior to recordation of the final map the subdivider shall submit street names for the new streets to the City of Hollister Engineering Department for review and approval by the City of Hollister Development Review Committee (DRC) and County Communications. The approved street names shall be included on all final maps. Any alterations to the street names may be allowed only after a re-submittal to the City Engineering Department of the revised street names and review and approval of the DRC and County Communications.
15. Site Clearance. If applicable, the project site shall be property cleared of all fences, wells, septic tanks, irrigation pipes, fuel tanks and other structures. Certificates from the County Environmental Health Department shall be provided to the City Engineer for any well or septic tank abandonment, and from the City Fire Department for abandoned fuel tanks.

16. Temporary barricades. All streets temporarily ending at property lines shall be barricaded in accordance with City Standards.
17. Residential fencing: Residential fencing shall be installed or replaced along the residential boundary, in accordance with City standards. Residential fencing shall be approved by the City Engineering Department and Planning Division prior to installation. Residential fencing on interior lots shall comply with fence standards in the Hollister Municipal Code. Fencing of the subdivision shall be placed along all residential boundaries. Double fencing shall not be allowed.
18. Soils Report: As part of the final map submission, a geotechnical soils report shall be submitted to comply with the current building code in accordance with the provisions of the City Subdivision Ordinance.
19. Stormwater Management: Development projects with stormwater discharge to the Waters of the U.S. through the City's MS4 drainage system are subject to the requirements of the California Regional Water Quality Control Board Central Coast Region, Resolution No. R3-2013-0032, entitled "Post-Construction Storm Water Management Requirements for Development Projects in the Central Coast Region," dated July 12, 2013 (PCRs), as applicable. The City Engineer may review and approve an alternative to the PCRs to address stormwater management for those development projects that the City deems to be eligible.
20. Construction Stormwater BMP Control Plan (CSCP): Prior to any site development or grading, the applicant shall submit for review and approval by the Engineering Department a CSCP for construction stormwater runoff BMP control measures. The applicant shall coordinate and meet with the City Engineering Department to receive written instructions related to the preparation and requirements of the CSCP that the applicant shall provide and submit as part of the plan, for City review and approval.
21. Post-Construction Stormwater Control Plans (SWCP): Prior to any site development or grading, the applicant shall submit a SWCP for review and approval by the Engineering Department. The SWCP shall address all required post-construction stormwater runoff BMP control measures, as applicable. The SWCP that the applicant shall provide and submit as part of the plan, for City review and approval, shall comply with Resolution No R3-2013-0032 referenced in COA 18. The applicant is advised that the Engineer of Record shall inspect and provide certification to the City of Hollister that all stormwater post-construction improvements are properly installed and comply with the approved civil design plans.
22. Drainage Report: A drainage report shall be submitted for review and approval by the City Engineer. The drainage report shall include, but is not limited to, depiction all areas

tributary to the site, and provide all information pertinent to the capability of the proposed drainage facilities to handle the expected post-construction storm water management (LID, runoff control and reduction, water quality treatment, etc.), and flood control measures as required for the site. Additionally, the report shall include or incorporate the grading plan, CSCP, SWCP, and landscape plan for the project.

23. Grading and Drainage Plan: Prior to any site development or grading, the applicant shall submit for review and approval by the Engineering Department a grading plan that complies with Chapter 15.24 "Grading and Best Management Practice Control" and Section 17.16.140 "Stormwater Management," of the Hollister Municipal Code and all subsequent amendments to those codes. Low Impact Development (LID) strategies shall be considered and incorporated as part of site planning and design as appropriately feasible. Development projects with stormwater discharge to the Waters of the U.S. through the City's MS4 drainage system are subject to the requirements of the California Regional Water Quality Control Board Central Coast Region, Resolution No. R3-2013-0032, entitled "Post-Construction Storm Water Management Requirements for Development Projects in the Central Coast Region," dated July 12, 2013 (PCRs), as applicable. The applicant is advised that the development shall comply with the California Central Coast Regional Quality Control Board's Stormwater Post-construction Requirements Resolution R3-2013-0032, as applicable. The applicant is also advised that the Engineer of Record shall inspect and provide certification to the City of Hollister that all stormwater post-construction improvements are installed properly and comply with the approved design plans.
24. Storm Water and Grading Permit: Prior to any approval of any storm water permit, grading permit or improvement plans the applicant shall obtain all applicable permits directly associated with the grading activity, including, but not limited to the State Water Board's CGP, State Water Board 401 Water Quality Certification, U.S. Army Corps 404 permit, and California Department of Fish and Game 1600 Agreement. Further, the applicant shall provide evidence to the City Engineer that the required permits have been obtained.
25. Solid Waste: Demolition: Prior to recordation of the final map, the subdivider shall prepare a solid waste diversion plan for demolition of existing structures and construction of the residents. The subdivider shall submit documentation that 50% of the construction or demolition waste was diverted in compliance with Chapter 15.04.045 of the City of Hollister Municipal Code.
26. Storm Water and Grading Permit: Prior to any approval of any storm water permit, grading permit or improvement plans the subdivider shall submit a Notice of Intent to comply with the State Resources Control Board Water Quality Order 99-08 -DWQ, a site map, a fee payable to the State Water Resources Control Board and a Storm Water

Pollution Prevention Plan (SWPPP). The SWPPP must contain at a minimum all items listed in Section A of the General Permit including descriptions of measures taken to prevent or eliminate unauthorized non-storm water discharges, and both temporary (e.g., fiber rolls, silt fences, etc.) and permanent (e.g. vegetated swales, riparian buffers, etc.) best management practices (BMPs) that will be implemented to prevent pollutants from discharging with storm water into waters of the United States. The WDID number shall be added to the title sheet of the plans permitting grading.

27. Initial final map/improvement plan submittal: The initial submission for the final map shall be in complete form and accompanied by the traverse sheets, map checking fee and all other items required by the City Engineer.
- a. The subdivider shall submit improvement plans for the onsite and offsite public improvements identified on the approved Vesting Tentative Map and underground utility systems and piping, as well as related work necessary for fire protection as part of the initial submission. The plans shall be in complete form and in accordance with the standards established by the City Engineer regarding format and design information required. Said plans shall be approved by the City Engineer and in the case of the fire suppression systems, by the City Engineer and Fire Chief prior to grading or final map approval.
 - b. The exact location, number, size and other pertinent information for all utilities including fire hydrants, street lights, sanitary sewers and storm drains will be checked and approved at the time the final improvements plans are submitted for review.
 - c. The improvement plan shall include the design of infrastructure including all appurtenant structures and special conditions related to the infrastructure that will provide a complete system to service the development and applicable mitigation measures identified in the adopted environmental document: These improvements shall include but not be limited to the following:
 - d. The street design for a minimum distance of 100 feet past the project limits to insure design continuity.
 - e. Storm drainage improvements including erosion control during construction and post construction.
 - f. Water improvements.
 - g. Sewer improvements.
 - h. Street lighting.
 - i. Public Utility.
 - j. Any proposed onsite amenities such as parks, trails, paths, transit facilities, and common areas.

28. Construction of improvements: All improvements required shall be constructed in accordance with the City of Hollister Design Standards, Standard Plans and Standard Specifications in effect at the time the improvement plans are approved. All applicable codes and ordinances, along with the recommendations of the City Engineer and any required Geologic Investigation, are to be adhered to, and all applicable fees required for same shall be paid.
29. Water line improvements: The water system improvements shall be subject to the review and approval of the City of Hollister with the following requirements: All water system improvements shall be installed in accordance with the City of Hollister standards in effect at the time of improvement plan approval. Any offsite waterlines necessary to be installed under proposed pavements shall be installed at the time of the roadway improvements.
30. Utilities: The subdivider shall underground all utilities, including all existing overhead utilities along the project frontage. Utility boxes and similar equipment shall be sited in non-obtrusive locations. All public utilities including gas, electric, cable, telephone and fiber optic conduits shall be installed to serve the lots in the subdivision. The exact location, number, size and other pertinent information for all utilities including water lines, fire hydrants, street lights, sanitary sewers and storm drains will be checked and approved at the time the final improvement plans are submitted for review.
31. Public utilities and tree planting easement: The subdivider shall dedicate a ten foot tree planting/maintenance easement along all street frontages if deemed necessary by the City of Hollister Engineering Department.
32. Sidewalk and Utilities easement: The subdivider shall dedicate a 10 foot public utilities easement and sidewalk easement along all street frontages or as approved by the city engineer.
33. Easements: Concurrent with the first submittal of the final map and prior to recordation, provide the City with all necessary reciprocal easements to include but not be limited to access, trash enclosure, and all necessary operations and maintenance facilities as determined by the City Engineer. The subdivider shall dedicate right-of-way and easements for the dedicated as well as public utility easements, sidewalk, tree planting and maintenance easements. All residential units within lots three (3) through six (6) shall have a reciprocal access and parking agreement easement. Lots three (3) through six (6) shall have the ability to use the trash enclosure located on lot three. All residential units within lots one (1) and two (2) shall have the ability to use the trash enclosure north of the new road extending from the south terminus of Memorial Drive and connecting to the existing south terminus of Hermosa Way. The City Engineer shall have the ability to require any easement necessary for the orderly development of the project.

34. Non-vehicular access strip: The subdivider shall dedicate a one-foot non-vehicular access strip along all streets terminating at the project boundary and at any property phase line.
35. The applicant shall be required to dedicate any right-of-way and easements necessary along the existing southern terminus of Memorial Drive looping over to the existing southern terminus of Hermosa Way to provide for ultimate improvement of the roadway.
36. Improvements Prior to Occupancy: In order to assure adequate access for emergency response vehicles and water for fire suppression, the issuance of any building permit shall be subject to the requirements of City Council Resolution 95-08, A Resolution of the City Council of the City of Hollister Establishing a Policy Relating to Home Construction in Incomplete Subdivisions or any subsequent policy. No certificate of occupancy shall be issued for any unit prior to completion of such improvements.
37. Water Efficient Landscape: Prior to building permit issuance, the applicant shall receive approval for water efficient landscape plans for the front yards of the lots, park areas, lots dedicated as an open space easement for storm water retention/infiltration and any park strips and landscaping along the sound wall pursuant to Chapter 15.22, Water Efficient Landscape of the Hollister Municipal Code. To the extent possible, trees shall be placed within the parking area in between parking stalls where acceptable per the approved site plan and not obstruct ADA path of travel nor eliminate parking spaces as stated in Section 17.18.110(I)(4) of the Hollister Municipal Code.
38. The applicant shall use drought and fire resistant plant materials and water conserving irrigation devices. All landscaping and irrigation shall be installed prior to final of the building permit.
39. Waste diversion: Prior to issuance of building permit, the project sponsor shall submit a solid waste disposal plan for the new construction that establishes criteria and procedures to divert at least 50% of all construction debris from the landfill. The plan shall include measures to divert at least 50% of the solid waste from the John Smith landfill which shall be subject to review and approval of the City of Hollister. To ensure compliance with the recycling plan, a refundable deposit shall be paid to the City of Hollister equivalent to \$50/ton of estimated construction and demolition debris for the phase of the project, to be deposited into an interest-bearing escrow account. The construction waste shall be calculated at 11.3 pounds per square foot of demolished floor area. The City shall return the deposit with any interest generated during the deposit after submittal of verifiable documentation of the required diversions.

40. **Final Occupancy Inspection:** A final occupancy shall not be granted for any building unless the Building Inspector can verify the following:
- a. The water conditioning system that has been installed is a City-approved system that can be regenerated offsite and will not discharge waste or waste products into the City's sewage system.
 - b. Prior to final occupancy of the building, the applicant shall install new Radio Read Meters. For details, contact the Lead Water Operator with the Utilities Division of the Community Services Department at (831) 636-4377.
 - c. The landscaping has been installed in compliance with condition 37, Water Efficient Landscape.
 - d. Runoff from roof gutters shall be directed to landscape swales, rain gardens and shall not be piped directly to gutters or non-permeable paving.
 - e. The development impact fees shall be based on those in effect at the time Vesting TM 2020-1 was approved (August 27, 2020) and as adjusted by inflation, or further study. On the date of the final inspection or the date the certificate of occupancy is issued for each building, whichever occurs first, the subdivider must pay all development impact fees due to the City and County. Development impact fees that apply to the project are listed below:
 - i. Water (Sunnyslope)
 - ii. Traffic
 - iii. Sewer - Treatment
 - iv. Sewer - Collection
 - v. Storm Drainage'
 - vi. Park
 - vii. Library Facilities
 - viii. Police
 - ix. Fire
 - x. Detention (Jail/Juvenile Hall)
 - xi. City Hall/City Yard

For a complete list of all applicable impact fees please contact the City Engineer with the City of Hollister Engineering Department at (831) 636-4340.

41. **School Fee.** Unless otherwise required by law, all school impact fees shall be paid at the time of building permit issuance.
42. **Subdivider fees.** The subdivider shall pay all fees including all fees required by reimbursable agreements, drainage agreements, improvement plan checking fees and inspection fees as well as any applicable fees pursuant to the Public Works Master plan.

43. Fire hydrants shall be Clow 865 units only with either Clow CW50 or equivalent Longbeach breakaway spool/risers and shut off valves.
44. The applicant shall place a three valve cluster connection with installation of each new fire hydrant and lateral. The City Engineer may waive this requirement in an existing shut-off valve exists within the proximity of the new hydrant.
45. Prior to building permit issuance, the applicant shall submit a fire sprinkler system plan and obtain approval for this plan from the Fire Department.
46. Prior to occupancy, the applicant shall provide evening lighting, which is unobtrusive for neighboring parcels, on the project site. All light sources should be fully shielded from off-site view. All lights to be downcast except where it can be proved to not adversely affect other parcels.
47. Community Facilities District No. 4: Prior to the approval of any Memorandum of Agreement for Early Start Homes, or prior to the Subdivision Improvement Agreement, or prior to the recordation of the final map, whichever the applicant chooses to do first, the applicant shall cooperate with the City to facilitate the annexation of the entire subdivision project to the Community Facilities District No. 4. The entire subdivision project shall be included within the boundaries of the communities facilities district formed pursuant to the Mello-Roos Community Facilities Act of 1982, as amended (California Government Code 53311 et esq.) and be subject to a special tax levied hereunder. The special tax shall be in an amount that will be updated with the annual CPI per unit per year, subject to an annual increase in accordance with the designated consumer price index as of January 1 of each year. The subdivider shall cooperate with the City to accomplish the inclusion of the subdivision in the community facilities district, either through annexation to an existing district or through the formation of a new district. Such cooperation shall include, but not be limited to, executing and filing with the City Clerk, in a form acceptable to the City Attorney, any approval, consent or waiver required by the City in order to expedite the inclusion of the subdivision in such a district.
48. Community Facilities District No. 5: Prior to the approval of any Memorandum of Agreement for Early Start Homes, or prior to the Subdivision Improvement Agreement, or prior to the recordation of the final map, whichever the applicant chooses to do first, the applicant shall cooperate with the City to facilitate the annexation of the entire subdivision project to the Community Facilities District No. 5. The entire subdivision project shall be included within the boundaries of the communities facilities district formed pursuant to the Mello-Roos Community Facilities Act of 1982, as amended (California Government Code 53311 et esq.) and be subject to a special tax levied hereunder. The special tax shall be in an amount that will be updated with the annual CPI

per unit per year, subject to an annual increase in accordance with the designated consumer price index as of January 1 of each year. The subdivider shall cooperate with the City to accomplish the inclusion of the subdivision in the community facilities district, either through annexation to an existing district or through the formation of a new district. Such cooperation shall include, but not be limited to, executing and filing with the City Clerk, in a form acceptable to the City Attorney, any approval, consent or waiver required by the City in order to expedite the inclusion of the subdivision in such a district.

49. When the City of Hollister deems necessary, the applicant shall be required to install an RPP (Reduced Pressure Principal) backflow prevention device at their sites. The RPP shall conform to all AWWA (American Water Works Association) standards and shall be appropriately sized for the specific application on the site. The RPP shall be inspected by a certified California-Nevada AWWA Backflow Prevention Assembly General Tester. The Utility Division shall provide a list of acceptable Assembly Testers within the area. The Utility Division shall receive a copy of the initial RPP inspection report. Any and all RPP defects shall be immediately repaired or replaced prior to the Utility Division reestablishing water service to the sites. The owners/operators shall have the RPP inspected/tested each year thereafter, with all reports forwarded to the Utility Division. Should the RPP fail to pass any inspection or test, the device shall be immediately repaired or replaced, with all repair and/or replacement reports forwarded to the Utility Division.
50. The RPP shall be installed according to AWWA standards, in regards to concrete padding and surrounding landscape/RPP height requirements. The RPP shall be installed inside a wire-mesh cage enclosure, preferably green in color, with a hinge on one end and a locking hasp device on the other to prevent vandalism and unauthorized entries. The RPP shall be installed at a site between the City's water meter and the building inside the property line where the RPP can be readily observed and be easily accessible for future inspections.
51. The Engineering Department shall inspect all building laterals, the project's main sanitation collection system, the connection to the City's main sanitary collection system, and the interceptor installation prior to burial. The owner/developer shall contact our office at 636-4340 at least 24 hours prior to all necessary inspections.
52. The Engineering Department shall process applications for new water meters and meter boxes for irrigation and potable water systems. The owner/developer may contact the Engineering Department (831) 636-4340 for information.
53. All sanitary sewer and water service lines shall meet City standards.

SPECIAL CONDITIONS

54. **Oak Trees:** All oak trees on site shall be retained. The following measures shall be taken to minimize impacts to the existing oaks on the property during all grading and trenching:
- a. All roots greater than two inches in diameter shall be hand-cut (instead of being cut by a mechanical trencher in order to minimize impacts to the trees adjacent to the activities.
 - b. Existing oak trees shall be protected by the placement of six foot high plastic fencing within thirty (30) feet of any utility trenching or rough grading. Fencing shall be placed along the outside edge of the drip line of the tree or grove of trees wherever feasible. The fencing shall be maintained through the site construction period and shall be inspected periodically for damage and proper functioning. The fencing shall be repaired as necessary to provide a visual and physical barrier from construction activities.
 - c. A tree dripline is the guide measurement used to prevent unnecessary damage to trees during construction works. It can be defined as the outermost circumference of the tree's canopy, from which water drips onto the ground. Where construction activities are proposed within the drip-line of any oak trees designated to be retained, the following construction guidelines shall be implemented: 1) Minimize grading, filling or other type of soil disturbance within ten (10) feet of the tree trunk. If 1/3 or more of the roots are disturbed, the injured tree shall be watered so that the ground is soaked to a depth of 18 inches, extending outward to the drip line of the tree.
 - d. No irrigated landscaping shall occur within the drip-line of retained oak trees. There shall be minimal planting under the drip-line of the native trees, and the natural leaf mulch or duff on the ground under the tree drip-line shall not be removed. In general, summer watering should be done six feet or more from the mature oak tree trunks.
55. **Continuous Maintenance:** Prior to issuance of the first building permit or prior to approval of the final map, whichever occurs first, a plan for continuous maintenance and management of the multifamily buildings, to include, but not be limited to, paved surfaces, utilities, and open space areas such as in the form of Codes Covenants & Restrictions (CC&R's) or a rental contract shall be recorded on each of the lots. The applicant shall be required to obtain garbage service at the site.
56. **Fire Hydrants:** Prior to final map submittal, please coordinate with the City Engineer at 831-636-4340 and Fire Chief Bob Martin Del Campo at 831-636-4325 for the placement of fire hydrants.
57. **Slurry Seal:** Prior to the acceptance of the roads on the project site, the roads and vicinity roads shall be in a good state of repair as determined by the Engineering

Division. Roads on the project site and vicinity determined not to be in a good state of repair by the Engineering Division shall be repaired by the applicant in a method approved by the City of Hollister such as by a slurry seal. Upon the overlay, the stop bar and legends shall be placed and/or redone. Thermoplastic material shall be used for the road markings.

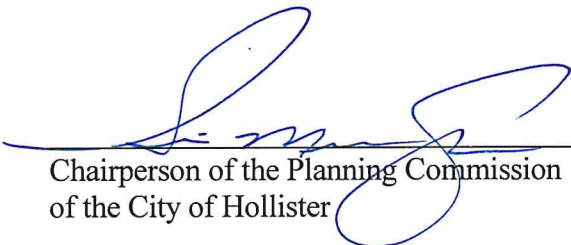
58. **Grading and Subdivision Improvement Work:** After approval of the Vesting Tentative Map, the developer/applicant may choose to start grading and infrastructure improvements prior to the Final Map being recorded and a Subdivision Improvement Agreement being approved by the City Council, at developer's /applicant's own risk. The City shall have sole discretion on whether to approve any and all grading and subdivision improvement work to be performed prior to approval and recording of the Final Map. Applicant shall provide approved surety in the amount of 100% of the Engineers Estimate for Faithful Performance and 100% of the Engineers Estimate for Labor and Material, pay all applicable fees, and provide insurance certificates. The City will issue an appropriate permit prior to the work being started. Acceptance of improvements by the City of Hollister shall not be completed until a Final Map or Parcel Map is approved by the City of Hollister and has been recorded with the County of San Benito and the improvements are complete. The developer/applicant herein agree that any and all construction shall be at developer's/applicant's own risk if the design of the map requires modifications to conform to the approved Vesting Tentative Map, state law and local ordinances.
59. **Early Start Homes:** The developer shall execute a memorandum of agreement with the City of Hollister prior to submitting the first building permit application for early start homes such as model homes or production homes. Prior to executing the memorandum of agreement please schedule a meeting with the City of Hollister Engineering Division to review any plans for early start homes. The engineering division will review the plans with the City of Hollister Development Review Committee (DRC) which consists of various departments of the City of Hollister for review and comment. For details please contact the City Engineer at 831-636-4340.
60. **Notification Prior to Construction:** Prior to initiating any site improvements on the site notification shall be sent to property owners at minimum within 300 feet of the project site notifying the property owners of the commencement of the construction activity. Notification shall be sent at minimum 15 days prior to the initiation of the construction activity and shall indicate the days and hours of operation per the noise ordinance in condition 13 of this resolution.
61. **Safe Path of Travel:** The site shall not be fenced off at the property line adjacent to a walkway or right-of-way during construction or at any time. Any proposed fence during construction or at any time shall be placed at minimum 5 feet away from the public right-

of-way to allow a safe path for pedestrians within the property. In addition, improvement plans submitted to the City of Hollister shall provide the location of any proposed fence and shall define a safe path of travel location on the plans.

62. **AutoCAD and GIS:** An electronic copy of the approved design improvements shall be submitted to the Development Services Department in both AutoCAD and GIS format, prior to recording of the map, as applicable. An electronic copy of the map shall be submitted to the Development Services Department in both AutoCAD and GIS format, prior to the recording of the map, as applicable.
63. **All other Resolutions:** All conditions in the resolution approving Site & Architectural Review No. 2020-9 shall apply to this resolution.

PASSED AND ADOPTED at a regular meeting of the City of Hollister Planning Commission held on this 27th day of August 2020, by the following vote:

AYES: Stephens, Huboi, Muenzer, Henderson
NOES: None
ABSTAIN: None
ABSENT: None



Chairperson of the Planning Commission
of the City of Hollister

ATTEST:



Bryan T. Swanson, Secretary

Please Note

It is the sole responsibility of the project applicant to comply with the conditions as approved, modified or added by the Planning Commission. It is recommended that the applicant review these conditions carefully and if any questions arise as to compliance with the conditions, please do not hesitate to contact the staff planner. Also, if you do not agree with the proposed conditions, you have an opportunity to present your case to the Planning Commission at their meeting. In addition, the City provides for a 15-day appeal period.

PLANNING COMMISSION RESOLUTION NO. 2020-16

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HOLLISTER
APPROVING SITE AND ARCHITECTURAL REVIEW 2020-9 TO CONSTRUCT A
DUPLEX RESIDENTIAL BUILDING WITH TWO ATTACHED ACCESSORY
DWELLING UNITS ON TWO LOTS (LOTS 1 AND 2) FOR A TOTAL OF FOUR
RESIDENTIAL UNITS ON EACH OF THE TWO LOTS AND A TRIPLEX
RESIDENTIAL BUILDING WITH TWO ATTACHED ACCESSORY DWELLING
UNITS ON FOUR LOTS (LOTS 3 THROUGH 6) FOR A TOTAL OF FIVE
RESIDENTIAL UNITS ON EACH OF THE FOUR LOTS FOR A TOTAL OF TWENTY-
EIGHT RESIDENTIAL UNITS CONSISTING OF SIXTEEN (16) MULTIFAMILY
RESIDENTIAL UNITS AND TWELVE 12 ACCESSORY DWELLING UNITS ON A 1.70
ACRE SITE IN THE MEDIUM DENSITY RESIDENTIAL ZONING DISTRICT
LOCATED AT 2001 MEMORIAL DRIVE
(ROGER MCDONALD)
APN 057-770-040**

WHEREAS, under the provisions of Section 17.24.190 of the Zoning Ordinance, the Planning Commission is charged with receiving, investigating, and taking action on Site and Architectural applications; and,

WHEREAS, Roger McDonald ("the applicant") has submitted an application, Site and Architectural Review 2020-9, for the construction of a duplex residential building with two attached accessory dwelling units on two lots (lots 1 and 2) for a total of four residential units on each of the two lots and a triplex residential building with two attached accessory dwelling units on four lots (lots 3 through 6) for a total of five residential units on each of the four lots for a total of twenty-eight residential units consisting of sixteen (16) multifamily residential units and twelve (12) accessory dwelling units on a 1.70 acre site located at 2001 Memorial Drive ("the project"). The project site is zoned Medium Density Residential and is further identified as San Benito County Assessor Parcel Number 057-770-040; and,

WHEREAS, Per Section 17.04.010 of the Hollister Municipal Code, the R3 Medium Density Residential Zoning District allows for a Medium Density Residential land use which allows for 8-12 units per acre; and,

WHEREAS, the sixteen (16) multifamily units on the overall 1.70 acre site are consistent with the permitted density range of thirteen (13) to twenty (20) dwelling units per acre in the R3 zoning designation and per Section 65852.2(a)(1)(C) of the California Government Code accessory dwelling units do not exceed the allowed density for the lot upon which the accessory dwelling unit is located, and the accessory dwelling units are a residential use that is consistent with the existing general plan and zoning designation for the lot; and,

WHEREAS, Per Section 65852.2(a)(1)(C)(iv) of the California Government Code Accessory Dwelling Units that are attached to a main unit shall not exceed fifty (50) percent of the size of the primary dwelling unit that it is attached to and shall not exceed 1,200 SF in size, whichever is less; and,

WHEREAS, all twelve (12) accessory dwelling units are one bedroom ADUs, they range in size from 518 SF to 575 SF, and each consist of less than fifty (50) percent of the size of the primary dwelling unit that it is attached to; and,

WHEREAS, the City Planning Division received the applicant's plans and forwarded the request to the Development Review Committee to assess the proposal for compliance with all relevant regulations; and,

WHEREAS, the Development Review Committee considerations were presented to the Planning Commission as part of the City staff report; and,

WHEREAS, the Planning Commission held a duly noticed public hearing on August 27, 2020 to consider the applicant's request, review the City staff report, and receive written and oral testimony for and against the proposal; and,

WHEREAS, after closing the public hearing, the Planning Commission deliberated and determined to grant the applicant's request in accordance with Section 17.24.190 of the City of Hollister Municipal Code, and based on the facts as presented, and the code requirements as plainly stated; and,

NOW, THEREFORE BE IT RESOLVED, that the Planning Commission of the City of Hollister does hereby approve Site and Architectural Review Application 2020-9 subject to the following findings and conditions:

CEQA FINDINGS:

1. **Finding:** Approval of the project will not result in any significant effects relating to traffic, noise, air quality, or water quality and the site can be served adequately by required utilities and public services.

***Evidence:** The project is categorically exempt from CEQA per Section 15332, In-fill Development Projects, Class 32. The project is consistent with the general plan designation of Medium Density Residential as well as the zoning designation of R3 Medium Density Residential. The development of the site would occur within the city limits on a project site of less than five acres, and is substantially surrounded by other residential uses. The project site has no value as habitat for endangered, rare, or threatened species. Approval of the project will not result in any significant effects relating to traffic, noise, air quality, or water quality and the site can be adequately served by all required utilities and public services.*

SITE AND ARCHITECTURAL FINDINGS:

1. **Finding:** The project as proposed is consistent with the City of Hollister General Plan.

***Evidence:** The project site is designated Medium Density Residential in the City of Hollister 2005-2023 General Plan. The project consists of the construction of a duplex residential building with two attached accessory dwelling units on two lots (lots 1 and 2) for a total of four residential units on each of the two lots and a triplex residential building with two attached accessory dwelling units on four lots (lots 3 through 6) for a total of five residential units on each of the four lots for a total of twenty-eight residential units consisting of sixteen (16) multifamily residential units and twelve (12) accessory dwelling units on a 1.70 acre site. This is consistent with the Medium Density Residential designation which allows 8-12 dwelling units per acre and consistent with Section 65852.2(a)(1)(C) of the California Government Code which indicates that accessory dwelling units do not exceed the allowed density for the lot upon which the accessory dwelling unit is located, and the accessory dwelling units are a residential use that is consistent with the existing general plan and zoning designation for the lot. The project is consistent with the land use identified in the general plan.*

2. **Finding:** The proposed project will not be detrimental to the health, safety, and welfare of persons residing or working in the neighborhood to the general welfare of the city.

***Evidence:** The evidence supports this finding as represented by the development plans, City prepared staff report, and the proposed conditions of approval.*

CONDITIONS OF APPROVAL

PLANNING AND BUILDING

1. This application approval is for Site and Architectural Review 2020-9 submitted by Roger Mcdonald on June 25, 2020. The elevations and improvements shall strictly adhere to the approved set of plans prepared by Dezigns to a "T", Inc. and San Benito Engineering & Surveying, Inc. submitted on August 13, 2020 unless prior approval is granted by the City Development Services Director for changes. This approval expires on August 27, 2022, unless the City grants an extension. Any request for extension must be submitted 30 days prior to the date of expiration.
2. Applicant shall defend, indemnify and hold harmless the City of Hollister, any agent, officer or employee of the City, and any advisory board of the City, against any claim, suit, action, judgement, costs and attorney's fees arising out of this approval or any assertions that this approval, including the environmental determinations made herein, is invalid, illegal, unconstitutional or otherwise contrary to law. The City shall promptly notify the applicant of any claim against the City and shall cooperate fully in the defense.

3. A building permit shall not be issued during the 15-day appeal period. In the case of an appeal being filed, no building permit shall be issued until the appeal is settled by the City Council.
4. Prior to any site improvements or construction, the applicant shall submit a building permit application and receive a building permit from the City Building Division. All improvements shall strictly adhere to the approved site plan, unless prior approval is granted by the city for changes.
5. All building plans submitted shall conform to all local and state energy and seismic requirements and all applicable Building and Fire Codes.
6. All requirements of the State Architect for ADA accessibility shall be met, including but not necessarily limited to parking, access ramps and building accessibility facilities.
7. Prior to issuance a building permit, the applicant shall not be in violation of the City of Hollister Municipal Code involving the project site. More specifically, Chapter 1.16 Section 1.16.100 *Refusal to issue permits, licenses or other entitlements* states "No department, commission or public employee of the city which is vested with the duty or authority to issue or approve permits, licenses or other entitlements shall issue or approve such permits, licenses or other entitlements where there is an outstanding violation involving the property upon which there is a pending application for such permit, license or other entitlement.
8. Noise during Construction. Construction activities on the project site must employ noise suppression devices and techniques and shall be limited to the hours of 7:00 a.m. to 6:00p.m. Monday through Friday and 8:00 a.m. to 6:00 p.m. on Saturdays and shall be prohibited on Sundays and federally recognized holidays per Ordinance 1137 of the Hollister Municipal Code. No Construction, Landscape Maintenance, or Grounds Maintenance activities shall occur on federal holidays. Construction equipment and activities shall use noise suppression devices and techniques.
9. Prior to building permit issuance, the client is to provide the Building Department with verification that all Fire Department and San Benito County Environmental Health Department that all necessary permits and approvals have been obtained.
10. The applicant shall submit proposed color samples for the exterior painting of the building if painting is proposed. These color samples will require an administrative approval from the Planning Division. For details, contact the Planning Division at (831) 636-4360.
11. Prior to issuance of a demolition permit, the project sponsor shall apply for a demolition permit from MBUAPCD. Conditions of the permit may require preparation of an asbestos survey. The project sponsor shall comply with MBUAPCD NESHAP policies and regulations for removal and disposal of contaminations materials.

12. Prior to demolition or construction activities, the project sponsor shall submit a solid waste disposal plan for demolition of the existing structures and new construction that establishes criteria and procedures to divert at least 50% of all construction and demolition debris from the landfill. The plan shall include measures to divert at least 50% of the solid waste from the John Smith landfill, which shall be subject to review and approval of the City of Hollister. To ensure compliance with the recycling plan, a refundable deposit shall be paid to the City of Hollister equivalent of \$50/ton of estimated construction and demolition debris for the phase of the project, to be deposited into an interest-bearing escrow account. The construction waste shall be calculated at 11.3 pounds per square foot of demolished floor area. The city shall return the deposit with any interest generated during the deposit after submittal of verifiable documentation of the required diversions.
13. Notice of Exemption. Within five days of project approval, the applicant shall supply a check payable to the "San Benito County Clerk" in the amount of \$50 dollars to the Development Services Department for filing of the Notice of Exemption required by CEQA. This fee is the administrative filing fee with the County Recorder's Office.

ENGINEERING & COMMUNITY SERVICES

14. **Right of Way Improvements**: The applicant shall dedicate, improve, and guarantee by bond full rights-of-way for the following road improvements as shown on the approved Site and Architectural Plan submittal, including but not limited to sanitary and storm sewers, gas, electrical, telephone, cable TV, fiber optic conduits, and water lines; and all other improvements necessary to bring the following rights-of-way into full conformance with all applicable City standards.
 - a. **Memorial Drive Connection to Hermosa Way**: The existing south terminus of Memorial Drive shall extend and loop onto the existing south terminus of Hermosa Way. The developer shall construct road improvements for a sixty (60) foot right-of-way width with a forty (40) foot curb to curb width. The road, along the frontage to the south and north, shall have full road improvements, including, but not limited to sidewalk, curb, gutter, lighting, undergrounding of any existing overhead utilities, irrigation, and landscaping, as well as, any additional improvements as determined by the City Engineer. All improvements shall adhere to Americans with Disabilities Act requirements.
15. The property owner/developer shall replace any street or sidewalk improvements or utility services that are removed or damaged during the construction of the project as determined by the City Engineer. This could include, but is not limited to, permeable paving, PCC curbs, gutters, sidewalks; street lighting; signing and striping; all underground utilities including, but not limited to, sanitary sewer, gas, electrical, telephone, and water and fire services lines; and all other improvements to bring the right-of-way into full conformance with applicable City standards. All construction in the right-of-way shall be completed prior to final building approval.

16. Each dwelling unit shall be metered separately for electricity, gas, and water/sewer services.
17. When the City of Hollister deems necessary, the applicant shall be required to install an RPP (Reduced Pressure Principal) backflow prevention device at their sites. The RPP shall conform to all AWWA (American Water Works Association) standards and shall be appropriately sized for the specific application on the site. The RPP shall be inspected by a certified California-Nevada AWWA Backflow Prevention Assembly General Tester. The Utility Division shall receive a copy of the initial RPP inspection report. Any and all RPP defects shall be immediately repaired or replaced prior to the Utility Division reestablishing water services to the sites. The owners/operators shall have the RPP inspected/tested each year thereafter, with all reports forwarded to Utility Division. Should the RPP fail to pass any inspection or test, the device shall be immediately repaired or replaced, with all repair and/or replacement reports forwarded to Utility Division.
18. The RPP shall be installed according to AWWA standards, in regards to concrete padding and surrounding landscape/RPP height requirements. The RPP shall be installed inside a wire-mesh cage enclosure, preferably green in color, with a hinge on one end and a locking hasp device on the other to prevent vandalism and unauthorized entries. The RPP shall be installed at a site between the City's water meter and the building inside the property line where the RPP can be readily observed and be easily accessible for future inspections.
19. The owners shall install a backflow prevention device on the existing sewer lateral between the building and the City's sanitary sewer main, per City of Hollister requirements. The device shall be maintained and operated by the owners and shall be periodically tested by the owners to ensure the device is working properly.
20. The Engineering department shall inspect all building laterals, the projects main sanitation collection system, the connection to the city's main sanitary collection system, and the interceptor installation prior to burial. The owner/developer shall contact our office at 636-4340 at least 24 hours prior to all necessary inspections.
21. If applicable, the project proponent shall install oil/grease separators to minimize the impact of pollutants from entering the sanitary sewer on the event of any drain installation.
22. Stormwater Management: Development projects with stormwater discharge to the Waters of the U.S. through the City's MS4 drainage system are subject to the requirements of the California Regional Water Quality Control Board Central Coast Region, Resolution No. R3-2013-0032, entitled "Post-Construction Storm Water Management Requirements for Development Projects in the Central Coast Region," dated July 12, 2013 (PCRs), as applicable. The City Engineer may review and approve an alternative to the PCRs to

address stormwater management for those development projects that the City deems to be eligible.

23. Construction Stormwater BMP Control Plan (CSCP): Prior to any site development or grading, the applicant shall submit for review and approval by the Engineering Department a CSCP for construction stormwater runoff BMP control measures. The applicant shall coordinate and meet with the City Engineering Department to receive written instructions related to the preparation and requirements of the CSCP that the applicant shall provide and submit as part of the plan, for City review and approval.
24. Post-Construction Stormwater Control Plans (SWCP): Prior to any site development or grading, the applicant shall submit a SWCP for review and approval by the Engineering Department. The SWCP shall address all required post-construction stormwater runoff BMP control measures, as applicable. The SWCP that the applicant shall provide and submit as part of the plan, for City review and approval, shall comply with Resolution No R3-2013-0032 referenced in COA 18. The applicant is advised that the Engineer of Record shall inspect and provide certification to the City of Hollister that all stormwater post-construction improvements are properly installed and comply with the approved civil design plans.
25. Drainage Report: A drainage report shall be submitted for review and approval by the City Engineer. The drainage report shall include, but is not limited to, depiction all areas tributary to the site, and provide all information pertinent to the capability of the proposed drainage facilities to handle the expected post-construction storm water management (LID, runoff control and reduction, water quality treatment, etc.), and flood control measures as required for the site. Additionally, the report shall include or incorporate the grading plan, CSCP, SWCP, and landscape plan for the project.
26. Grading and Drainage Plan: Prior to any site development or grading, the applicant shall submit for review and approval by the Engineering Department a grading plan that complies with Chapter 15.24 "Grading and Best Management Practice Control" and Section 17.16.140 "Stormwater Management," of the Hollister Municipal Code and all subsequent amendments to those codes. Low Impact Development (LID) strategies shall be considered and incorporated as part of site planning and design as appropriately feasible. Development projects with stormwater discharge to the Waters of the U.S. through the City's MS4 drainage system are subject to the requirements of the California Regional Water Quality Control Board Central Coast Region, Resolution No. R3-2013-0032, entitled "Post-Construction Storm Water Management Requirements for Development Projects in the Central Coast Region," dated July 12, 2013 (PCRs), as applicable. The applicant is advised that the development shall comply with the California Central Coast Regional Quality Control Board's Stormwater Post-construction Requirements Resolution R3-2013-0032, as applicable. The applicant is also advised that the Engineer of Record shall inspect and provide certification to the City of Hollister that all stormwater post-construction improvements are installed properly and comply with the approved design plans.

27. Storm Water and Grading Permit: Prior to any approval of any storm water permit, grading permit or improvement plans the applicant shall obtain all applicable permits directly associated with the grading activity, including, but not limited to the State Water Board's CGP, State Water Board 401 Water Quality Certification, U.S. Army Corps 404 permit, and California Department of Fish and Game 1600 Agreement. Further, the applicant shall provide evidence to the City Engineer that the required permits have been obtained.
28. Solid Waste: Demolition: Prior to recordation of the final map, the subdivider shall prepare a solid waste diversion plan for demolition of existing structures and construction of the residents. The subdivider shall submit documentation that 50% of the construction or demolition waste was diverted in compliance with Chapter 15.04.045 of the City of Hollister Municipal Code.
29. Storm Water and Grading Permit: Prior to any approval of any storm water permit, grading permit or improvement plans the subdivider shall submit a Notice of Intent to comply with the State Resources Control Board Water Quality Order 99-08 –DWQ, a site map, a fee payable to the State Water Resources Control Board and a Storm Water Pollution Prevention Plan (SWPPP). The SWPPP must contain at a minimum all items listed in Section A of the General Permit including descriptions of measures taken to prevent or eliminate unauthorized non-storm water discharges, and both temporary (e.g., fiber rolls, silt fences, etc.) and permanent (e.g. vegetated swales, riparian buffers, etc.) best management practices (BMPs) that will be implemented to prevent pollutants from discharging with storm water into waters of the United States. The WDID number shall be added to the title sheet of the plans permitting grading.
30. The Engineering Department shall process for new water meters and meter boxes for the irrigation and potable water systems. The owner/developer may contact the Engineering Department, (831) 636-4340, for information.
31. All urinals and commodes in all buildings shall be low-flush models using a maximum 1.6 gpf/6Lpf (1.6 gallons per flush/6 Liters per flush).
32. No floor drain shall be connected to the site's sanitation system.
33. All sanitary sewer and water service lines shall meet City standards.
34. No buildings, trees, bushes, other structures or materials shall be placed within ten feet (10') of the meters, water lines or sanitary sewer connections and laterals.
35. The applicant shall use drought resistant plant material and water conserving irrigation devices. All landscaping and irrigation shall be installed prior to final of the building permit.

36. The property owner shall be responsible for maintenance of all on-site landscaping and irrigation systems, which shall be kept in a neat, clean and healthy manner and in compliance with the approved plans. The applicant will maintain the approved landscaping in perpetuity. No trees, shrubs, or plant material shall obstruct site distance of motorists and pedestrians.
37. Prior to issuance of a building permit, the applicant shall submit fees for review and approval of a Water Efficient Landscape Permit in compliance with chapter 15.22 of the Hollister Municipal Code. Prior to final Occupancy Inspection for the first residential building, the applicant shall submit a copy of an approved Certificate of Completion that complies with section 15.22.130 of the Hollister Municipal Code.
38. **Final Occupancy Inspection:** A final occupancy shall not be granted for the building unless the Building Inspector can verify the following:
 - a. Prior to final occupancy of the building, the applicant shall install new Radio read Meter. For details, contact the Lead Water Operator with the Utilities Division of the Management Services Department at (831) 636-4377.
 - b. The landscaping has been installed in compliance with condition 37, Water Efficient Landscape.
 - c. Runoff from roof gutters shall be directed to landscape swales, rain gardens and shall not be piped directly to gutters or non-permeable paving.
 - d. On the date of the final inspection or the date the certificate of occupancy is issued for the project, whichever occurs first, the owner must pay all development impact fees due to the City and County. The development impact fees shall be based on those in effect at the time of connection if the final map for Vested Tentative Map 2020-1 has not yet been recorded. However, if the final map for Vested Tentative Map 2020-1 has been recorded at the time of connection, the development impact fees shall be those in effect at the time of approval for Vested Tentative Map 2020-1 (August 27, 2020)
 - e. The project has complied with stormwater post-construction requirements.
39. **School Fee.** Unless otherwise required by law, all school impact fees shall be paid at the time of building permit issuance.
40. Every two years or longer if deemed appropriate by the City Code Enforcement Officer, the applicant shall maintain and re-stripe the parking stalls so that they will always be clean and visible.
41. All landscaped areas adjacent to driveway/parking areas shall be bordered with 6-inch (6") PCC square curbing as determined by the City Engineer.
42. Wheel stops shall be installed in parking areas where needed to maintain proper pedestrian movements or to protect landscaping.

43. Any new construction, the property owner shall install new Radio Read Meters prior to occupancy. For details, contact the Lead Water Operator with the Utilities Division of the Community Services Department at (831)636-4377.
44. Bicycle parking shall be properly installed on the site. Prior to installation, location of the bicycle parking shall be reviewed and approved by the City of Hollister Engineering Department.
45. The applicant shall be responsible for damage to any underground utilities and infrastructure as a result of construction work. The following note shall be placed on the building permit: "Prior to any site construction, the Underground Service Alert – USA North shall be contracted to assure that there will not be damage to underground facilities from the construction. Call 811/800-227-2600."
46. Community Facilities District No. 4: Prior to issuance of a building permit or prior to the recordation of the final map, whichever occurs first, the applicant shall cooperate with the City to facilitate the annexation of the entire project to the Community Facilities District No. 4. The entire project shall be included within the boundaries of the community's facilities district formed pursuant to the Mello-Roos Community Facilities Act of 1982, as amended (California Government Code 53311 et seq.) and be subject to a special tax levied hereunder. The special tax shall be in an amount that will be updated with the annual CPI per unit per year, subject to an annual increase in accordance with the designated consumer price index as of January 1 of each year. The property owner shall cooperate with the City to accomplish the inclusion of the project in the community facilities district, either through annexation to an existing district or through the formation of a new district. Such cooperation shall include, but not be limited to, executing and filing with the City Clerk, in a form acceptable to the City Attorney, any approval, consent or waiver required by the City in order to expedite the inclusion of the project in such a district.
47. Community Facilities District No. 5: Prior to issuance of a building permit or prior to the recordation of the final map, whichever occurs first, the applicant shall cooperate with the City to facilitate the annexation of the entire project to the Community Facilities District No. 5. The entire project shall be included within the boundaries of the community's facilities district formed pursuant to the Mello-Roos Community Facilities Act of 1982, as amended (California Government Code 53311 et seq.) and be subject to a special tax levied hereunder. The special tax shall be in an amount that will be updated with the annual CPI per unit per year, subject to an annual increase in accordance with the designated consumer price index as of January 1 of each year. The property owner shall cooperate with the City to accomplish the inclusion of the project in the community facilities district, either through annexation to an existing district or through the formation of a new district. Such cooperation shall include, but not be limited to, executing and filing with the City Clerk, in a form acceptable to the City Attorney, any approval, consent or waiver required by the City in order to expedite the inclusion of the project in such a district.

FIRE DEPARTMENT

48. The applicant shall install and maintain operational fire extinguishers to be located on every unit and throughout the buildings at all times as the Fire Department deems necessary. Each operational fire extinguisher shall be located no further than within seventy-five feet of travel as deemed appropriate by the Fire Department.
49. Prior to building permit issuance, the applicant shall submit a fire sprinkler system plan and obtain approval for this plan from the Fire Department. The fire system plan must be updated and retro-fitted for the new occupancy, its interior walls and all wall separations.
50. Prior to occupancy, operating smoke detectors and carbon monoxide detectors shall be installed.

POLICE DEPARTMENT

51. Prior to occupancy, the applicant shall provide evening lighting, which is unobtrusive for neighboring parcels, on the project site. A lighting plan for the project site shall be submitted to be reviewed and approved by the Hollister Police Department and Development Services Department prior to issuance of a building permit that shows proper lighting to the site, including but not limited to the parking areas on lots 3 through 6 south of the new road. All light sources should be fully shielded from off-site view. All lights to be downcast except where it can be proved to not adversely affect other parcels.
52. Prior to occupancy, the applicant shall provide three security contact persons to the City Police Department. Please provide this to the Community Services Officer at (831) 636-4330.
53. The applicant shall maintain the facility clean and graffiti free. All graffiti must be removed or painted over within 48 hours of it appearing. According to the City of Hollister Municipal Code Chapter 8.32.060, *Prohibited Activities and Unlawful Conditions*, Section 15, Graffiti is considered a Public Nuisance and is a violation of the City codes.

SPECIAL CONDITIONS

54. Oak Trees: All oak trees on site shall be retained. The following measures shall be taken to minimize impacts to the existing oaks on the property during all grading and trenching:
 - a. All roots greater than two inches in diameter shall be hand-cut (instead of being cut by a mechanical trencher in order to minimize impacts to the trees adjacent to the activities.
 - b. Existing oak trees shall be protected by the placement of six foot high plastic fencing within thirty (30) feet of any utility trenching or rough grading. Fencing shall be placed along the outside edge of the drip line of the tree or grove of trees wherever feasible. The fencing shall be maintained through the site construction

period and shall be inspected periodically for damage and proper functioning. The fencing shall be repaired as necessary to provide a visual and physical barrier from construction activities.

- c. A tree dripline is the guide measurement used to prevent unnecessary damage to trees during construction works. It can be defined as the outermost circumference of the tree's canopy, from which water drips onto the ground. Where construction activities are proposed within the drip-line of any oak trees designated to be retained, the following construction guidelines shall be implemented: 1) Minimize grading, filling or other type of soil disturbance within ten (10) feet of the tree trunk. If 1/3 or more of the roots are disturbed, the injured tree shall be watered so that the ground is soaked to a depth of 18 inches, extending outward to the drip line of the tree.
- d. No irrigated landscaping shall occur within the drip-line of retained oak trees. There shall be minimal planting under the drip-line of the native trees, and the natural leaf mulch or duff on the ground under the tree drip-line shall not be removed. In general, summer watering should be done six feet or more from the mature oak tree trunks.

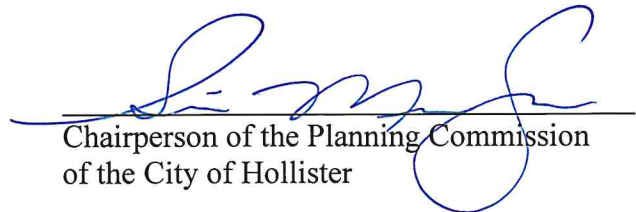
- 55. Common walls in multifamily: The common walls within the multifamily residential units shall be designed and constructed in a manner in which sound/noise could not carry over from one residential unit to the next. The design of the common walls shall be reviewed and approved by the City of Hollister Building Official prior to issuance of a building permit.
- 56. Safe Path of Travel: The site shall not be fenced off at the property line adjacent to a walkway for right-of-way during construction or at any time. Any proposed fence during construction or at any time shall be placed at minimum 5 feet away from the public right-of-way to allow a safe path for pedestrians within the property. In addition, improvement plans submitted to the City of Hollister shall provide the location of any proposed fence and shall define a safe path of travel location on the plans.
- 57. Washer & Dryer Connections: All residential units shall be provided with, at minimum, a connection for washer and dryer units.
- 58. Heating and Air Conditioning: All residential units shall be provided with central heat and air conditioning for the entire home. Air conditioning can allow for the residents to close their windows to mitigate potential noise during hot days.
- 59. Water Sampling: Prior to issuance of a building permit, the plans shall identify a water sampling device for water analysis at opposite ends of the project site to avoid using water hydrants for water analysis. The plans shall be submitted to the Development Services Department and placement of the water sampling device on the map and ultimately on the site shall be reviewed and approved by the Utilities Division.

60. Water Main Test: A water main test shall be required by the applicant's engineer to run calculations on residual, static, and dynamic pressure. For more information, please contact the Engineering Division at (831) 636-4340.
61. Continuous Maintenance: Prior to issuance of the first building permit or prior to approval of the final map, whichever occurs first, a plan for continuous maintenance and management of the multifamily buildings, to include, but not be limited to, paved surfaces, utilities, and open space areas such as in the form of Codes Covenants & Restrictions (CC&R's) or a rental contract shall be recorded on each of the lots. The applicant shall be required to obtain garbage service at the site.
62. Existing Land Use: Prior to demolition of the existing residential unit and structures, proper notification in accordance to state law shall be given to any existing tenants that may be occupying the site.
63. Existing Overhead Utilities: As a condition of approval, all existing overhead utilities along or near the property lines are required to be undergrounded by the property owner/developer. If the City Engineer deems necessary or appropriate, the applicant shall enter into a deferred improvement agreement with the City of Hollister for this required improvement. For details, please contact the City of Hollister City Engineer at (831) 636-4360.
64. Notification Prior to Construction: Prior to initiating any site improvements on the site, notification shall be sent to property owners at minimum within 300 feet of the project site notifying the property owners of the commencement of the construction activity. Notification shall be sent at minimum 15 days prior to the initiation of the construction activity and shall indicate the days and hours of operation per the noise ordinance in Condition 14.
65. Slurry Seal: Prior to the acceptance of the roads on the project site, the roads and vicinity roads shall be in a good state of repair as determined by the Engineering Division. Roads on the project site and vicinity determined not to be in a good state of repair by the Engineering Division shall be repaired by the applicant in a method approved by the City of Hollister such as by a slurry seal. Upon the overlay, the stop bar and legends shall be placed and/or redone. Thermoplastic material shall be used for the road markings.
66. AutoCAD and GIS: An electronic copy of the approved design improvements shall be submitted to the Development Services Department in both AutoCAD and GIS format, prior to issuance of a building permit, as applicable.
67. Recordation of Deed Restriction: Prior the issuance of a final building occupancy, the applicant shall record a deed restriction against the property with the San Benito County Recorder's Office. The deed restriction shall include the following:

- a. **Separate Ownership.** The ADU may not be sold or owned separately from the principal dwelling unit, and Property upon which the ADU is located shall not be subdivided in any manner that would authorize such sale or ownership.
 - b. **Rental.** The principal dwelling unit and ADU shall not be rented for a period less than thirty (30) consecutive days. The ADU may be rented separate from the principal dwelling unit.
 - c. **Size.** The ADU is restricted to minimum and maximum size allowed per the development standards identified by Government Code Section 65852.2 and 65852.22, and as approved by the Administrative Permit.
 - d. **Access.** The ADU shall have independent exterior access separate from the Primary Dwelling.
 - e. **Other Requirements.** The ADU shall comply with all other applicable requirements set forth in California State Law or the City of Hollister Municipal Code.
68. Other Resolutions: All conditions of approval in the Resolution approving Tentative Map 2020-1 shall also apply to this resolution.
69. The applicant shall revise the rear elevations of the triplexes and duplexes to wrap the siding from the second story front elevation to the rear elevation. The revisions shall be submitted to the Planning Department for review and approval prior to issuance of a building permit.
70. Prior to issuance of a certificate of occupancy, the applicant shall install sufficient landscape screening in the side and rear yards of the triplexes on lots 3, 4, 5 and 6 to provide adequate privacy screening for the properties to the south and west.

PASSED AND ADOPTED at a regular meeting of the City of Hollister Planning Commission held on this the 27th day of August, by the following vote:

AYES: Stephens, Huboi, Muenzer, Henderson
NOES: None
ABSTAIN: None
ABSENT: None


Chairperson of the Planning Commission
of the City of Hollister

ATTEST:



Bryan T. Swanson, Secretary

Please Note

It is the sole responsibility of the project applicant to comply with the conditions as approved, modified or added by the Planning Commission. It is recommended that the applicant review these conditions carefully and if any questions arise as to compliance with the conditions, please do not hesitate to contact the staff planner. Also, if you do not agree with the proposed conditions, you have an opportunity to present your case to the Planning Commission at their meeting. In addition, the City provides for a 15-day appeal period.

PLANNING COMMISSION RESOLUTION NO. 2022-16

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HOLLISTER APPROVING A ONE-YEAR EXTENSION FOR VESTING TENTATIVE MAP 2020-1 TO SUBDIVIDE A 1.70-ACRE SITE INTO SIX (6) LOTS AND SITE AND ARCHITECTURAL REVIEW 2020-9 TO CONSTRUCT A DUPLEX RESIDENTIAL BUILDING ON TWO LOTS (LOTS 1 AND 2) FOR A TOTAL OF FOUR RESIDENTIAL UNITS ON EACH OF THE TWO LOTS AND A TRIPLEX RESIDENTIAL BUILDING WITH TWO ATTACHED ACCESSORY DWELLING UNITS ON FOUR LOTS (LOTS 3 THROUGH 6) FOR A TOTAL OF FIVE RESIDENTIAL UNITS ON EACH OF THE FOUR LOTS FOR A TOTAL OF TWENTY-EIGHT (28) RESIDENTIAL UNITS CONSISTING OF SIXTEEN (16) MULTIFAMILY RESIDENTIAL UNITS AND TWELVE (12) ACCESSORY DWELLING UNITS LOCATED AT 2001 MEMORIAL DRIVE IN THE MEDIUM DENSITY RESIDENTIAL ZONING DISTRICT
APN 057-770-040**

WHEREAS, the Applicant, San Benito Engineering, submitted a request for the extension of the approval for Vesting Tentative Map 2020-1 to subdivide a 1.70 acre site into six (6) lots and for Site & Architectural Review 2020-9 to construct a duplex residential building with two attached Accessory Dwelling Units on two lots (Lots 1 & 2) for a total of four residential units on each of the two lots and a triplex building with two attached accessory dwelling units on four lots (lots 3 through 6) for a total of five residential units on each of the four lots for a total of twenty-eight (28) residential units consisting of sixteen (16) multifamily residential units and twelve (12) accessory dwelling units located at 2001 Memorial Drive in the Medium Density Residential Zoning District; and

WHEREAS, the Applicant has submitted a complete application for the requested entitlement prepared by San Benito Engineering & Surveying Inc. received by the Planning Division on June 29, 2022; and

WHEREAS, under the provisions of Section 17.24.060 of the Hollister Municipal Code, the City Planning Division received the Applicant's plans and forwarded the request to the Development Review Committee (DRC) to assess the proposal for compliance with all relevant regulations; and

WHEREAS, under the provisions of Sections 16.36.070 and 17.24.190 of the Hollister Municipal Code, the Planning Commission approved Resolution 2020-15 for Tentative Map 2020-1 and Resolution 2020-16 for Site and Architectural Review 2020-9 during a duly notice public hearing on August 27, 2020; and

WHEREAS, under the provisions of Sections 16.36.070 and 17.24.130 of the Hollister Municipal Code, the Planning Commission may grant a one-year extension to the approvals; and

WHEREAS, the Development Review Committee considerations were presented to the Planning Commission as part of the Staff Report and the Conditions of Approval for the project; and

WHEREAS, the Planning Commission held a duly noticed public hearing on September 22, 2022 to consider the applicant's request, review the City staff report, and receive written and oral testimony for and against the proposal; and

WHEREAS, after closing the public hearing, the Planning Commission determined that the project qualifies as Categorically Exempt as an in-fill development project pursuant to Section 15332, Class 32, of the California Environmental Quality Act (CEQA) because the project is consistent with the General Plan

Land Use Designation of Medium Density Residential, the Zoning Designation of Medium Density Residential (R3), the project is located within the City Limits of Hollister on property with urban services, and the project site is less than five acres and is surrounded by developed properties; and

NOW THEREFORE BE IT RESOLVED that the Planning Commission of the City of Hollister does hereby make the following findings and determinations regarding the proposed one-year extension for Vesting Tentative Map 2020-1 and Site & Architectural Review 2020-9:

A. The proposed Project, as conditioned, will comply with the policies of the General Plan because:

1. The project site is designated Medium Density Residential in the City of Hollister 2005-2023 General Plan. The project consists of the construction of a duplex residential building with two attached accessory dwelling units on two lots (lots 1 and 2) for a total of four residential units on each of the two lots and triplex residential building with two attached accessory building units on four lots (lots 3 through 6) for total of five residential units on each of the four lots for a total of twenty-eight residential units consisting of sixteen (16) multifamily residential units and twelve (12) accessory dwellings units on a 1.70 acre site. This is consistent with the Medium Density Residential designation which allows 8-12 dwelling units per acre and is consistent with Section 65852.2(a)(1)(C) of the California Government Code which indicates that accessory dwellings units do not exceed the allowed density for the lot upon which the accessory dwelling unit is located and the accessory dwelling units are residential use that is consistent with the existing general plan and zoning designation for the lot. The project is consistent with the land use identified in the general plan.

B. The proposed Project would not be detrimental to the health, safety, and welfare of persons residing or working in the neighborhood or the general welfare of the City because:

1. The propose project is an infill project in an existing residential area with developed parcels and the site is surrounded by existing residential units. Pursuant to Section 15332, class 32, of the California Environmental Quality Act, the proposed project is categorically exempt from CEQA because the project is located on a site which is surrounded by development and consists of fewer than 5 acres.
2. The proposed project will develop a property located in the Medium Density Residential Zoning District which is currently surrounded by developed parcels. The project site is well designed, meets the Goal and Policies of the General Plan and the requirements of the Zoning Ordinance. The site will have adequate circulation, access, parking, landscaping and improvements and therefore will not be detrimental to the health, safety, and welfare of persons working in the neighborhood of City. The project has been reviewed by the City's Development Review Committee to ensure that the project, as conditioned, will not have impacts on the site or the surrounding area.

BE IT FURTHER RESOLVED that the Planning Commission of the City Hollister hereby approves a one-year extension for Vesting Tentative Map 2020-1 and Site & Architectural Review 2020-9 subject to the following Conditions of Approval.

CONDITIONS OF APPROVAL
TM 2020-1, S&A 2020-9

General Conditions of Approval

1. **Approval.** This approval is for a one-year extension for Vesting Tentative Map 2020-1 and Site & Architectural Review 2020-9 located at 2001 Memorial Drive. The proposed development shall be in substantial conformance to Exhibit A (Project Plans) prepared by San Benito Engineering & Surveying Inc. and dated "Received June 29, 2022" on file with the Planning Division, and other plans, text and diagrams relating to Vesting Tentative Map and Site & Architectural Review, except as modified by the following conditions. The elevations and improvements shall strictly adhere to the approved set of plans unless prior approval is granted by the Director of Developments Services for changes.
2. **Permit Expiration.** In accordance with Sections 16.40.010(A) and 17.24.130(E)(1) of the Municipal Code, the Vesting Tentative Map 2020-1 and Site & Architectural Review approval shall expire one year from the date of approval unless a Building Permit is obtained.
3. **Time Extension.** In accordance with Sections 16.40.010(B) and 17.24.130(E)(2) of the Municipal Code, the Planning Commission may extend the time for an approved permit to be exercised upon the Applicant(s) written request from an extension of approval at least 30 (thirty) days prior to expiration of the permit together with the filing fee. The application for an extension shall state the reasons for requesting an extension. A request for an extension may be approved, approved conditionally, or denied by the Planning Commission.
4. **Permit Validity.** This Site and Architectural Review approval shall be valid for the remaining life of the approved structure so long as the operator of the subject property comply with the project's conditions of approval.
5. **Appeal Period.** The final map and improvement plan check package will be accepted for submittal after the completion of the 15-day appeal period for the project, unless the Director of Development Services authorizes the project developer to submit a signed statement acknowledging that the plan check fess will be forfeited in the event that the approval is overturned on appeal or that the design is significantly changed as a result of the appeal. In no case will a Final Map be approved or recorded or a building permit issued until the appeal period has expired or a final action is taken appeal.
6. **Revocation of Permit.** The Site and Architectural Review approval shall be revocable for cause in accordance with Section 17.24.350 of the Hollister Municipal Code. Any violation of the terms or conditions of this permit shall be subject to citation.

7. **Indemnification.** The applicant/Developer shall defend, indemnify, and hold harmless the City of Hollister and its agents, officers, employees, advisory board from any claim, action, or proceeding against the City of Hollister or its agents, officers, or employees to attach, set aside, void or annul an approval of the City of Hollister or its advisory agency, appeal board, Planning Commission, City Council, Director of Development of Services or any other department, committee, or agency of the City related to this project to the extent that such actions are brought within the time period required by Government Code Section 66499.37 or other applicable law; provided, however that the Applicant/Developer duty to so defend, indemnify, and hold harmless shall be subject to the City's promptly notifying the Applicant/Developer of any claim against the City and shall cooperate in the defense.
8. **Modifications.** Modifications or changes to the Site and Architectural Review may be considered by the Director of Development Services if the modifications or changes proposed comply with Section 17.24.130(F) of Municipal Code.
9. **Clarification of Conditions.** In the event that there needs to be clarification to the Conditions of Approval, the Director of Development Services and the City Engineer have the authority to clarify the intent of these Conditions of Approval to the Developer without going to a public. The Director of Developments Services and City Engineer also have that authority to make minor modifications to these conditions without going to a public hearing in order for the Developer to fulfill needed improvements or mitigations resulting from impacts to this project.

Project Extension Conditions of Approval

10. **Previously Approved Resolutions.** All findings and conditions in Planning Commission Resolution 2020-15 approving a vesting Tentative Map and Planning Commission Resolution 2020-16 for Site & Architectural Review shall apply to this project.

Planning Department – Project-Specific Conditions of Approval

11. **Trash Enclosures.** Prior to building permit issuance, the Applicant shall submit a site plan to the Planning Division for review and approval which shows the trash enclosures to be sized to accommodate a 3-stream trash system for waste, recycling, and organics. The site plan shall also include elevations which together demonstrate that the trash enclosures are properly sized, plumbed to the City's sewer system, contain hose-bibs, are covered, are architecturally compatible with the proposed structures, and otherwise meet all regulations of the City of Hollister and Recology.

Fire Department – Project-Specific Conditions of Approval

12. **Fire Hydrant Updates.** The applicant shall update the following fire hydrants to the specification required by the City of Hollister Fire Department:
 - a. Existing fire hydrant on Memorial Drive within the project site.
 - b. Existing fire hydrant on Hermosa Way within the project site.

13. **New Fire Hydrants.** The applicant shall add two new fire hydrants, or more as required by the City of Hollister Fire Department within the proposed development site. The new fire hydrants shall be spaced between 200-300 feet apart, or as otherwise identified by the City of Hollister Fire Department.

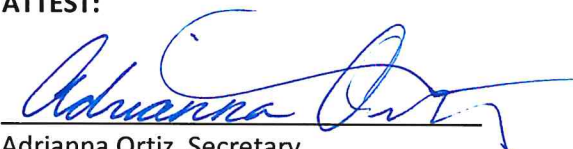
PASSED AND ADOPTED, at a regular meeting of the Planning Commission of the City of Hollister on this 22nd day of September 2022, by the following vote:

AYES: Huboi, Henderson, Corona
NOES: None
ABSTAINED: None
ABSENT: Stephens



Chairperson of the Planning Commission
of the City of Hollister

ATTEST:



Adrianna Ortiz, Secretary

PLEASE NOTE

It is the sole responsibility of the project applicant to comply with the conditions as approved, modified, or added by the Planning Commission. It is recommended that the applicant review these conditions carefully and if any questions arise as to compliance with the conditions to contact the staff planner. Also, if the applicant does not agree with the proposed conditions, there is an opportunity to present your case to the Planning Commission at their meeting. In addition, the City provides for a 15-day appeal period.

